



BAUMANN BUILDING

ZONING RESPONSE - 08/12/2020

Zoning Sheet List				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Description	Current Revision Date
General				
G001	Zoning Index and Cover Sheet	12/13/19	Comments 4	08/12/20
G101	Conceptual Site Plan	12/13/19	Comments 4	08/12/20
G102	Site Plan	03/30/20	Comments 4	08/12/20
G110	Facade Plans	12/13/19	Comments 4	08/12/20
G111	Facade Plans	12/13/19	Comments 4	08/12/20
G121	Ground Floor	12/13/19	Comments 4	08/12/20
G122	Floor 2	12/13/19	Comments 4	08/12/20
G123	Floors 3-4	03/04/20	Comments 4	08/12/20
G125	Floor 5	12/13/19	Comments 4	08/12/20

Zoning Sheet List				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Description	Current Revision Date
Civil				
C1.1	Drainage Plan	12/13/19	Comments 2	03/27/20
C1.2	Site Utility Plan	12/13/19	Comments 2	03/27/20
Existing				
12	Existing Drainage Area Map	12/1983		
Landscape				
L1.01	Tree Preservation plan	01/24/20	Comments 2	03/27/20
L2.01	Landscape plan	01/24/20	Comments 2	03/27/20
L2.02	Landscape Specifications and Details	01/24/20	Comments 2	03/27/20
L3.01	Irrigation Plan	01/24/20	Comments 2	03/27/20
L3.02	Irrigation Specifications and Details	01/24/20	Comments 2	03/27/20

PROJECT DESCRIPTION

43,415 GROSS SQUARE FOOT, 5-STORY FULLY SPRINKLERED OFFICE AND SHOWROOM BUILDING. REFER TO SITE PLAN FOR ZONING INFORMATION.

APPLICABLE CODES

2012 INTERNATIONAL BUILDING CODE
 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 2012 MECHANICAL CODE
 2012 PLUMBING CODE
 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
 2016 NATIONAL ELECTRICAL CODE

CITY OF ADDISON, TEXAS LOCAL AMENDMENTS

2012 TEXAS ACCESSIBILITY STANDARDS

Owner:
 JB Baumann Holdings LLC
 4801 Arapaho Road
 Suite 100
 Addison, Texas 75001

Architect/Applicant:
 Greenlight Studio, LLC
 100 N. Catherine Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4535

Civil Engineer:
 Pacheco Koch
 7557 Rambler Road
 Suite 1400
 Dallas, Texas 75231
 v: 972.238.3031

Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
 Wingate Inn of Addison Addition
 Addison, Texas
 Town Project No. 1809-Z

DATE: 07/06/2020
 PROJECT NO: 19006
 REVISIONS: 08/12/20

SHEET TITLE:
Zoning Index and Cover Sheet

SHEET NUMBER:

G001

Building Area Schedule.	
Name	Area

Ground Floor	
Area	185
Elevator	81
Elevator Lobby	236
Garage	9,319
MEP	59
Stair 1	228
Stair 2	230
	10,339

Level 2	
Balcony	523
Balcony	59
Cargo Lift	174
Elevator	73
Office	9,381
Stair 1	216
Stair 2	216
	10,642

Level 3	
Balcony	523
Balcony	59
Cargo Lift	174
Elevator	73
Mattress Store	9,381
Stair 1	216
Stair 2	216
	10,642

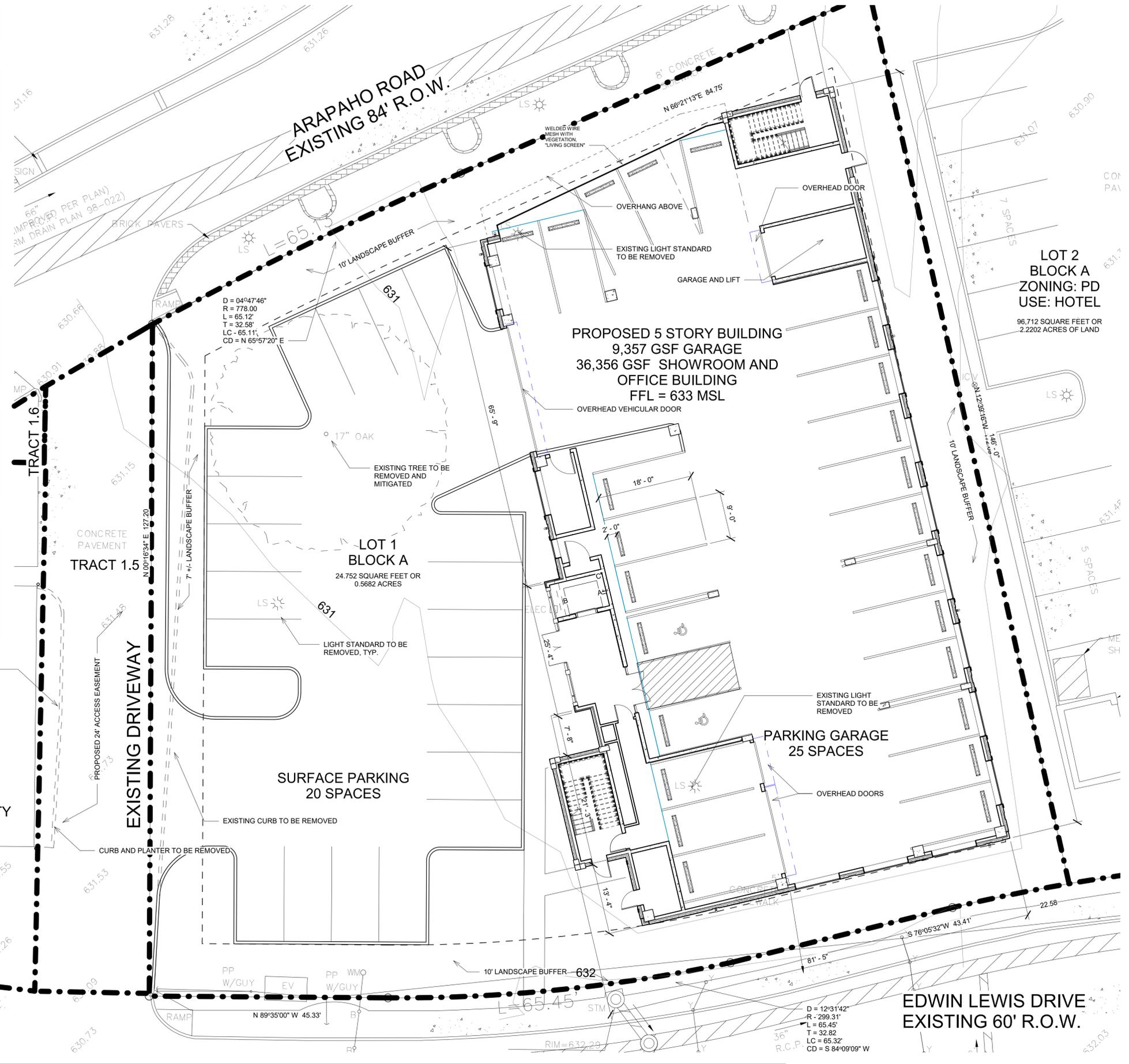
Level 4	
Balcony	523
Balcony	59
Cargo Lift	174
Elevator	73
Clother	9,381
Stair 1	216
Stair 2	216
	10,642

Level 5	
Balcony	59
Cargo Lift	174
Elevator	74
Residence	4,045
South Balcony	914
Stair 1	216
Stair 2	216
Storage	117
Terrace	4,655
	10,470

ONE-STORY BRICK BUILDING

TRACT 1.3 ZONING: PD USE: TELECOM UTILITY

1 Conceptual Site Plan
scale: 1" = 10'-0"



SITE DATA SUMMARY TABLE

LOT 1 BLOCK A WINGATE INN OF ADDISON ADDITION

EXISTING ZONING:	PLANNED DEVELOPMENT
PROPOSED ZONING:	PLANNED DEVELOPMENT
PROPOSED USE:	OFFICE SHOWROOM
LOT SIZE:	24,752 SF / .57 ACRES
BUILDING AREA:	43,415 GSF BUILDING
	9,319 SF GARAGE
BUILDING HEIGHT:	78 FEET (TO MECH SCREENING) 5 STORIES
LOT COVERAGE:	10,642 SF/43%

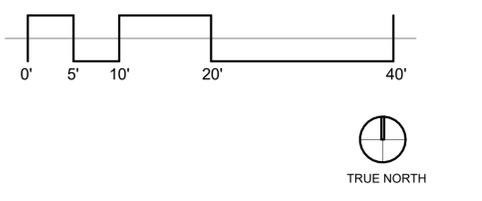
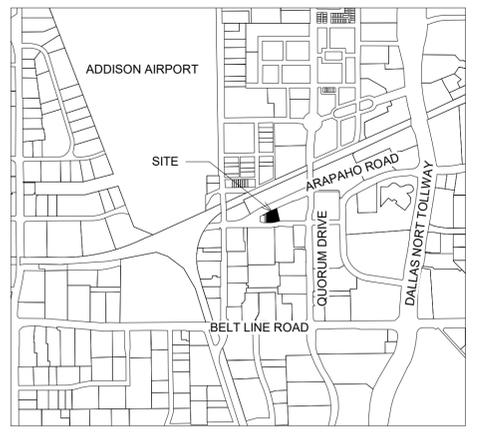
PARKING DATA		
SPACES REQUIRED		
OFFICE SPACE (1:300 SF):	9,381 SF	32 SPACES
WAREHOUSE SHOWROOM SPACE (1:1000 SF):	18,762 SF	19 SPACES
RESIDENCE:		2 SPACES
PARKING REQUIRED:		53 SPACES
GARAGE PARKING:		25 SPACES
SURFACE PARKING:		20 SPACES
TOTAL PARKING PROVIDED:		45 SPACES

NOTE: ACCESSIBLE PARKING IS PROVIDED IN ACCORDANCE WITH ADA AND TAS STANDARDS.

REQUIRED LANDSCAPE:	4,946 SF (20%)
PROVIDED LANDSCAPE:	6,761 SF (27%)
IMPERVIOUS SURFACE AREA:	17,991 SF

SITE PLAN NOTES

- ANY REVISION TO THIS SITE PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDINGS WITH AN AGGREGATE OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
- OWNER SHALL PROVIDE TRASH SERVICE FOR BUILDING. ENCLOSED DUMPSTER IS NOT PROVIDED.



© Greenlight Studio, LLC

GREENLIGHT
STUDIO, LLC
www.greenlightcompany.com

Owner:
J8 Bourne Holdings LLC
4801 Arapaho Road
Suite 100
Addison, Texas 75001

Architect/Applicant:
Greenlight Studio, LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4535

Civil Engineer:
Pacheco Koch
7537 Rambler Road
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v: 972.235.3031

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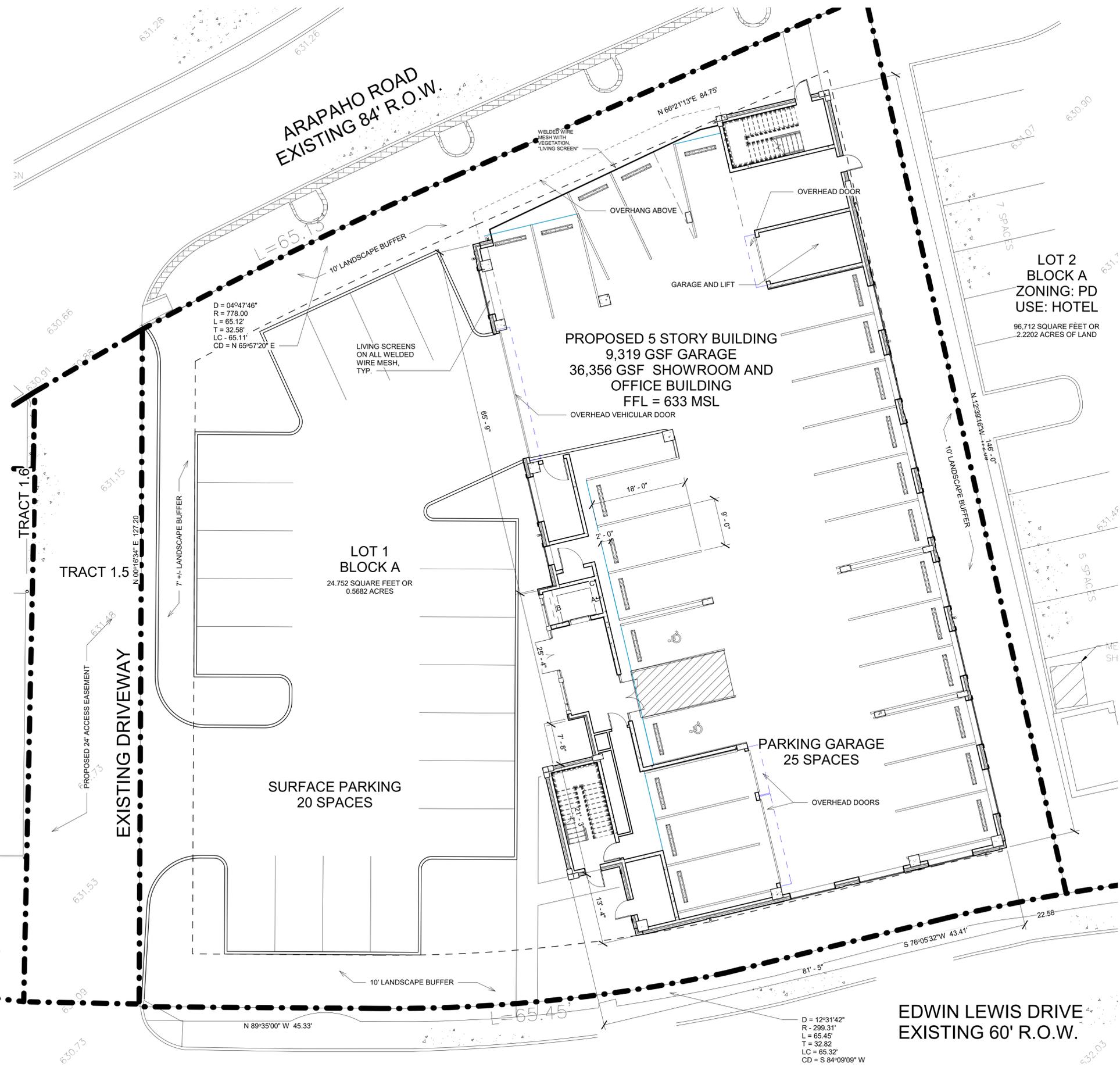
SHEET TITLE:
Conceptual Site Plan

SHEET NUMBER:
G101

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ONE-STORY
BRICK
BUILDING
TRACT 1.3
ZONING: PD
USE: TELECOM UTILITY

TRACT 1.3



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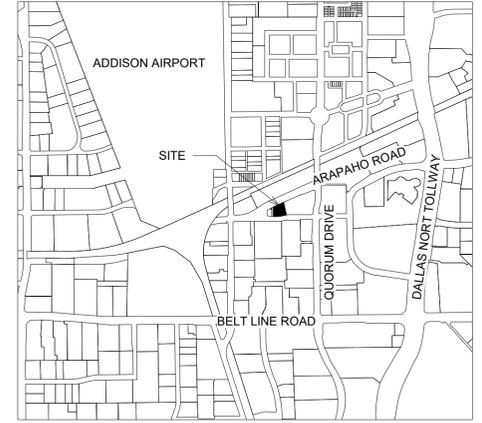
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0' 5' 10' 20' 40'

ACTION

APPROVED	DENIED
----------	--------

STAFF _____ Date _____ Initials _____

COUCIL _____ Date _____ Initials _____

See the Staff Approval Letter or Council Result Memo for any conditions associated with the approval of the project.

TRUE NORTH

LOT 1 BLOCK A
WINGATE OF ADDISON ADDITION

GW FISHER ABSTRACT NO. 482
0.5682 ACRES
PREPARATION DATE: 12/12/2019
TOWN OF ADDISON
DALLAS COUNTY, TEXAS
TOWN PROJECT NO. 1809-Z

© Greenlight Studio, LLC

GREENLIGHT
STUDIO, LLC
www.greenlightcompany.com

Owner:
J8 Baumann Holdings LLC
4801 Arapaho Road
Suite 100
Addison, Texas 75001

Architect/Applicant:
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100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4535

Civil Engineer:
Pacheco Koch
7537 Rambler Road
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Baumann Building
4901 Arapaho Road
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Addison, Texas
Town Project No. 1809-Z

DATE:	07/06/2020
PROJECT NO.:	19006
REVISIONS:	08/12/20
SHEET TITLE:	Site Plan
SHEET NUMBER:	

G102

Owner:
 JB Baumann Holdings LLC
 4801 Arapaho Road
 Suite 100
 Addison, Texas 75001

Architect/Applicant:
 Greenlight Studio, LLC
 102 N. Cottonwood Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4535

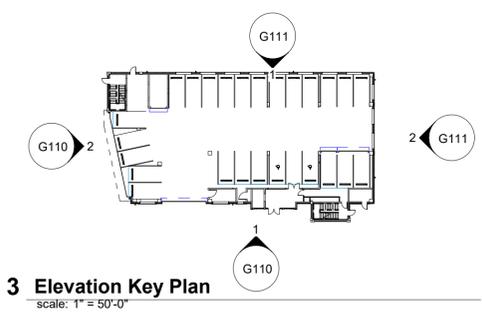
Civil Engineer:
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DATE: 07/06/2020
 PROJECT NO: 19006
 REVISIONS: 08/12/20

SHEET TITLE:
Facade Plans
 SHEET NUMBER:

G110



Keynote Legend.	
Key Value	Keynote Text
03 31 00	Structural Concrete
03 31 00.C1	Concrete Structural Slab
03 31 00.D1	Cast in Place Concrete Wall
04 26 00.A1	Bick veneer on Metal Studs
04 26 00.B1	Brick Soldier Course
04 26 00.B4	Stack Bond Accent
04 72 00.A1	Cast Stone Cornice
04 72 00.A4	Cast Stone Sill
05 12 00.B0	C Shape
05 12 00.M0	W Shape
05 31 00	Steel Decking
05 50 00.C1	1" Tie Rod
05 50 00.D2	4" Welded Wire Mesh "Living Wall" with vines
05 70 00.A1	Metal Guardrail and Handrail with Welded Wire Mesh
06 20 13.C1	Stained Wood Soffit
07 24 00.A1	EIFS On Insulation Board

Keynote Legend.	
Key Value	Keynote Text
07 40 00.A1	8"x8" Scupper Box
07 40 00.A2	4" Round Downspout
07 40 00.B2	6"x6" Square Gutter
07 42 43	Aluminum Faced Wall Panels
07 54 23.B1	TPO Roofing, Roof Board, 4" Rigid Insulation over Metal Deck
07 62 00.B1	4" Roof Edge
08 11 00.A2	Aluminum Steel Profile Door
08 11 13.A1	Hollow Metal Door and Frame
08 33 00.C1	Overhead Coiling Door With Motor
08 43 00.C1	Storefront/Steel Window System
08 51 13.A1	Steel Profile Aluminum Window
08 51 23	Steel Windows
09 00 00.A1	Gypsum Wall Assembly, Refer to Wall Types
09 24 00.A2	7/8" Cement Plaster
14 21 23.16	Machine Room-Less Traction Passenger Elevator
32 17 13	Wheel Stop

NORTH ELEVATION MATERIALS TAKEOFF

TOTAL SF:	6295	
FENESTRATION:	1353	
RESULT:	4942	
ACM PANEL	427	8.64%
PAINTED STEEL DETAIL	775.5	15.69%
EIFS	871	17.62%
EXPOSED CONCRETE	570	11.53%
BRICK AND CAST STONE	2299	46.51%

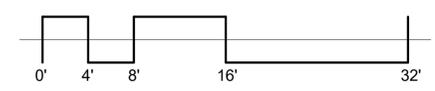
WEST ELEVATION MATERIALS TAKEOFF

TOTAL SF:	10323	
FENESTRATION:	3626	
RESULT:	6697	
ACM PANEL	517	7.72%
PAINTED STEEL DETAIL	466	6.96%
EIFS	1278	19.08%
EXPOSED CONCRETE	670	10%
BRICK AND CAST STONE	3766	56.23%



- FACADE PLAN NOTES**
- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
 - All mechanical units shall be screened from public view as required by the Zoning Ordinance.
 - When permitted, exposed utility boxes and conduits shall be painted to match the building.
 - All signage areas and locations are subject to approval by Development Services.
 - Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official

	MODULAR BRICK	COLOR 1 CONGAREE VISTA, HANSEN BRICK
	MODULAR BRICK	COLOR 2 AUGUST, CHEROKEE BRICK
	EXTERIOR INSULATION AND FINISH SYSTEM	BASF 3908 CRESCENT
	EXPOSED CONCRETE	BUFFED AND SEALED
	METAL	BLACK PAINTED
	CAST STONE	BUFF COLOR
	WELDED WIRE MESH	BLACK PAINTED - PLANT VINES AS A LIVING SCREEN



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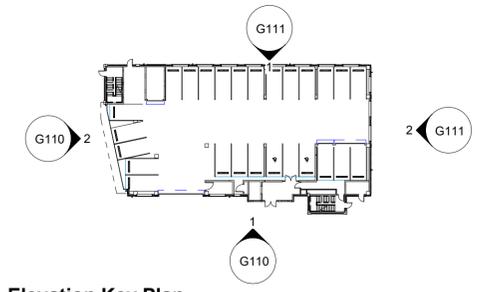
SHEET TITLE:
Facade Plans

SHEET NUMBER:

G111

Keynote Legend.	
Key Value	Keynote Text
03 31 00	Structural Concrete
03 31 00.C1	Concrete Structural Slab
03 31 00.D1	Cast in Place Concrete Wall
04 26 00.A1	Bick veneer on Metal Studs
04 26 00.B1	Brick Soldier Course
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04 72 00.A4	Cast Stone Sill
05 12 00.B0	C Shape
05 12 00.M0	W Shape
05 31 00	Steel Decking
05 50 00.C1	1" Tie Rod
05 50 00.D2	4" Welded Wire Mesh "Living Wall" with vines
05 70 00.A1	Metal Guardrail and Handrail with Welded Wire Mesh
06 20 13.C1	Stained Wood Soffit
07 24 00.A1	EIFS On Insulation Board

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Key Value	Keynote Text
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32 17 13	Wheel Stop



3 Elevation Key Plan.
 scale: 1" = 50'-0"

SOUTH ELEVATION MATERIALS TAKEOFF

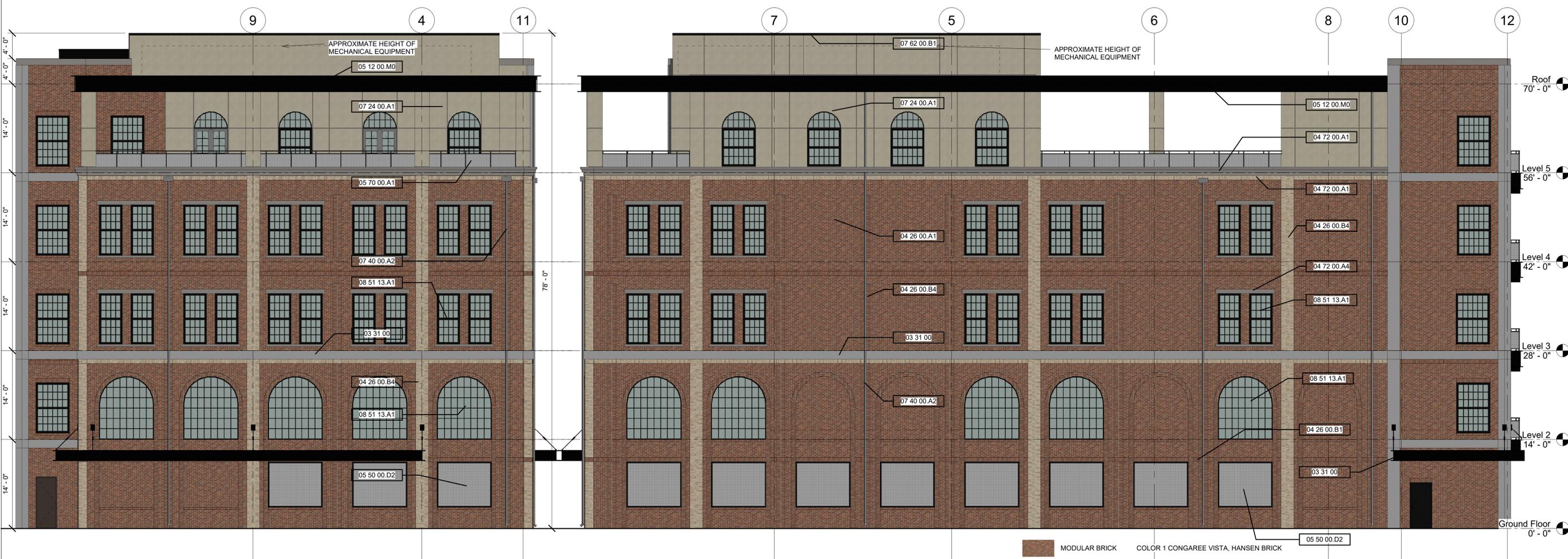
TOTAL:	6293 SF
FENESTRATION:	1462 SF
RESULT:	4831 SF

ACM PANEL	108	2.23%
PAINTED STEEL DETAIL	229	4.75%
EIFS	523	10.81%
EXPOSED CONCRETE	303	6.27%
BRICK AND CAST STONE	3669	75.94%

EAST ELEVATION MATERIALS TAKEOFF

TOTAL:	10281 SF
FENESTRATION:	2083 SF
RESULT:	8198 SF

ACM PANEL	190	2.32%
PAINTED STEEL DETAIL	229	2.79%
EIFS	1036	12.64%
EXPOSED CONCRETE	534	6.51%
BRICK AND CAST STONE	621	75.74%

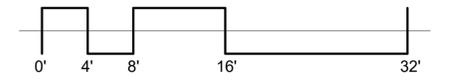


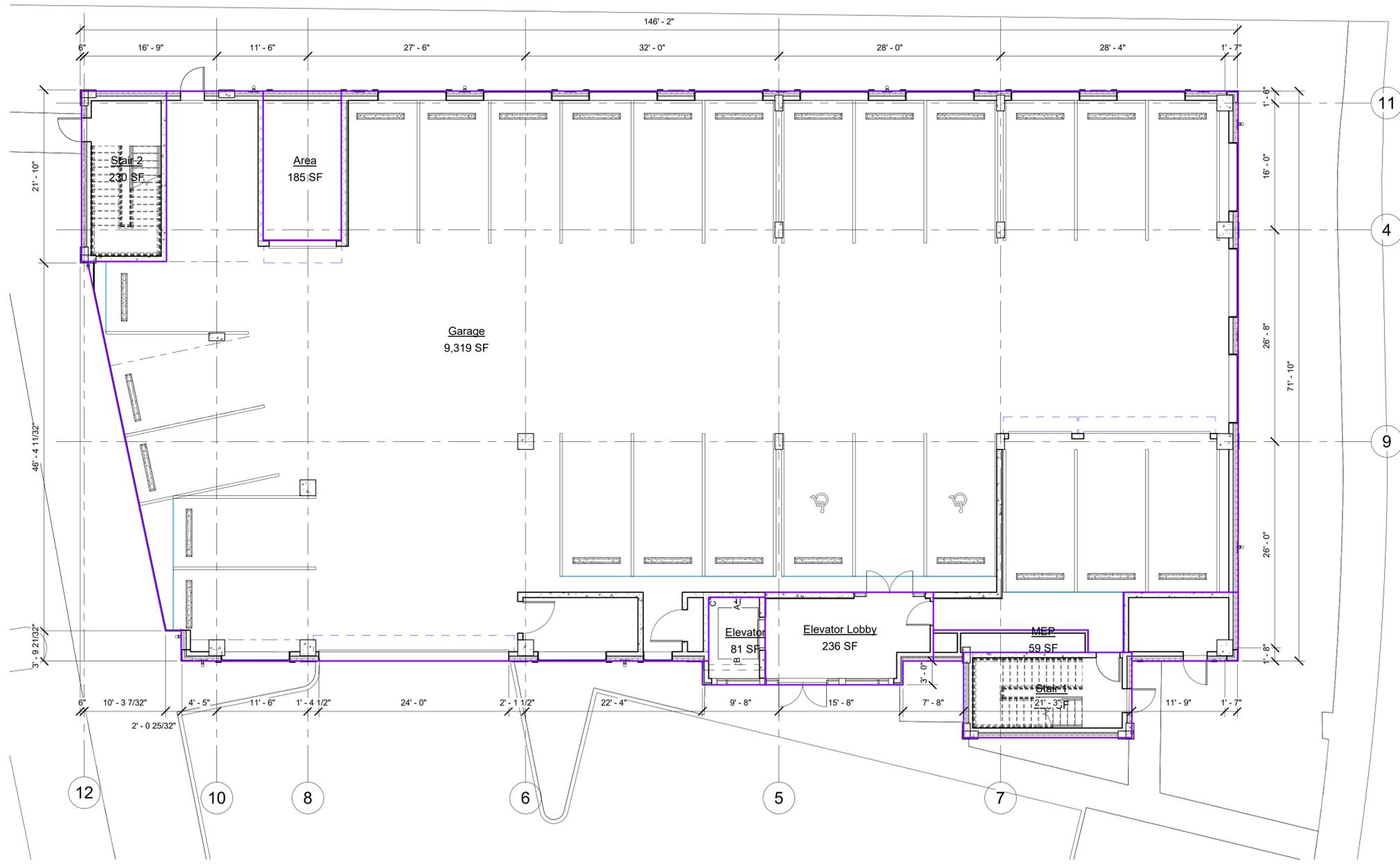
2 Facade Plan - South
 scale: 1/8" = 1'-0"

1 Facade Plan - East
 scale: 1/8" = 1'-0"

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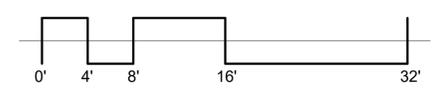
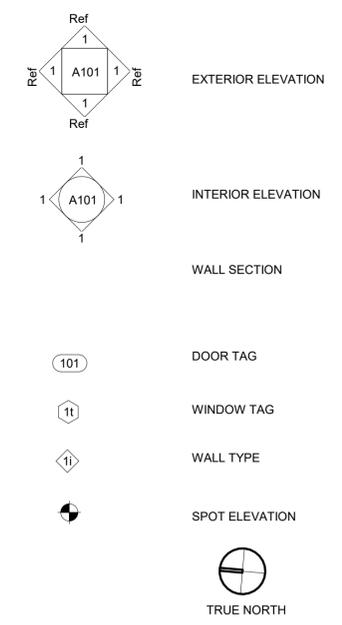
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1 Ground Floor
 scale: 1/8" = 1'-0"

1. ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
3. CONTRACTOR TO VERIFY ALL MEP AND STRUCTURAL ENCLOSURES.
4. DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED OR DETAILED.
5. FOR FURTHER DIMENSIONING, SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS, AND DETAILS.
6. SEE SHEET A8.01 FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES AND TOILET ACCESSORIES.
7. CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXT. WINDOW FRAMES, CABINET WORK, AND CASEWORK W/ ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
8. PROVIDE 5/8" TYPE "X" GYP. BOARD ON ALL UNFINISHED WALLS.
9. PROVIDE INSULATION ON ALL EXTERIOR WALLS AS INDICATED IN THE COMCHECK INCLUDED IN THE DOCUMENTS.
10. ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE WEIGHT OF ATTACHED ITEMS IS TOO GREAT TO BE SUPPORTED BY METAL STUDS.
11. ADD METAL STRAPS TO AREAS WITH LIGHTWEIGHT WALL MOUNTED EQUIPMENT OR FINISHES WHICH CANNOT MOUNT TO STUD SPACING.
12. ALL DOOR FRAMES TO BE LOCATED 4" FROM ADJACENT WALL TO INSIDE OF DOOR FRAME UNLESS NOTED OTHERWISE.
13. THERE SHALL BE NO WALL ACCESS PANELS IN THE PUBLIC SPACES. ALL ACCESS PANEL LOCATIONS SHALL BE APPROVED BY THE ARCHITECT.
14. PROVIDE WATER RESISTANT GYP BOARD AT ALL PLUMBING FIXTURES, WITH THE EXCEPTION OF TILE BACKER AT TILED SHOWERS. DO NOT INSTALL WATER RESISTANT GYP BOARD IN CEILINGS.
15. DO NOT BOLT, SHOT FASTEN, OR PENETRATE BOTTOM SURFACE OF JOISTS AND BEAMS. DO NOT BOLT HEAVY LOADS INTO FLAT SECTIONS OF SLABS. REVIEW PROPOSED CORE PENETRATIONS IN STRUCTURAL FLOORS, ROOFS, AND WALLS WITH ARCHITECT.



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Ground Floor

SHEET NUMBER:

G121

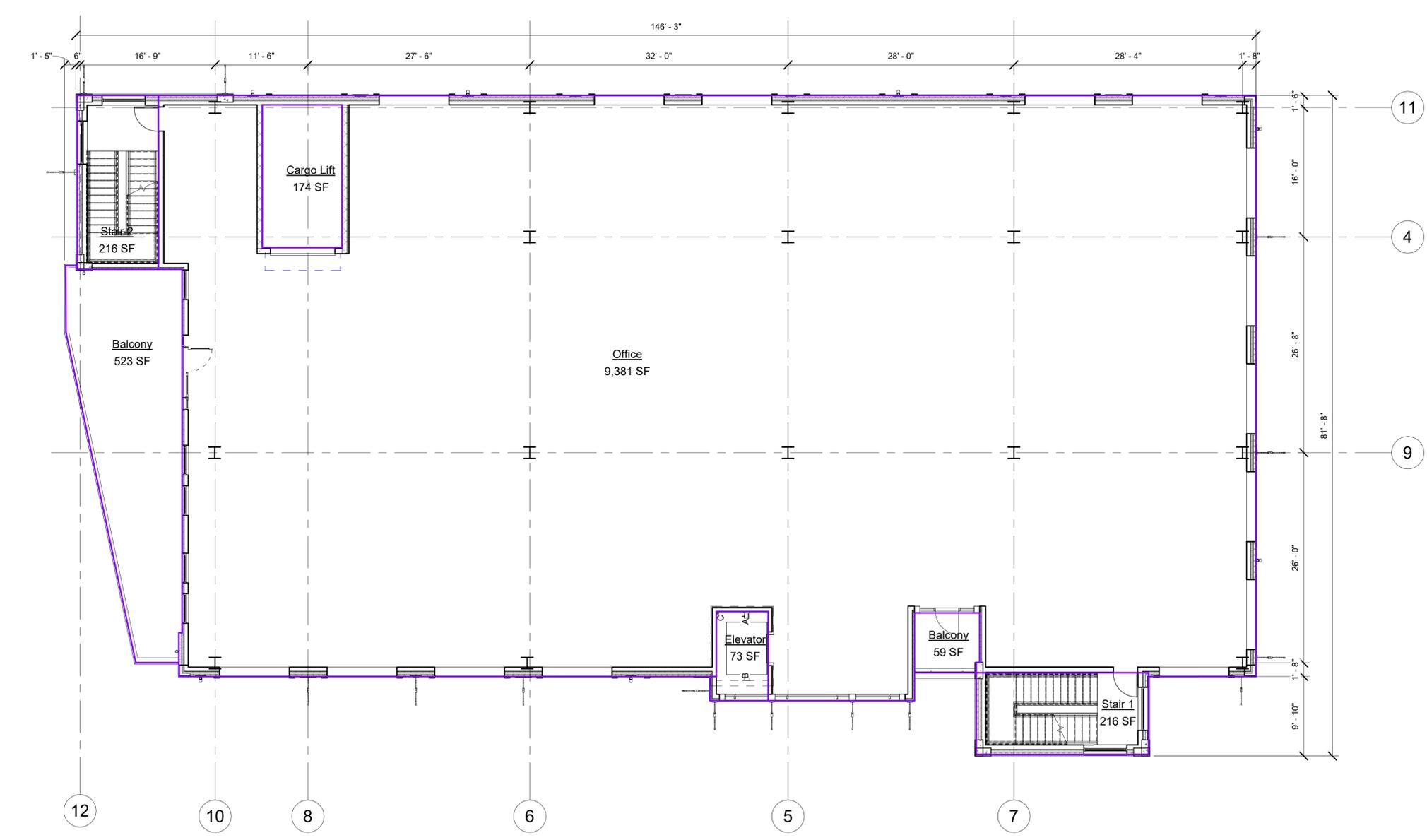
Owner:
 JB Baumann Holdings LLC
 4801 Arapaho Road
 Suite 100
 Addison, Texas 75001

Architect/Applicant:
 Greenlight Studio, LLC
 1020 N. Cottonwood Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4535

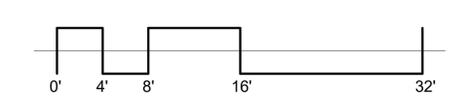
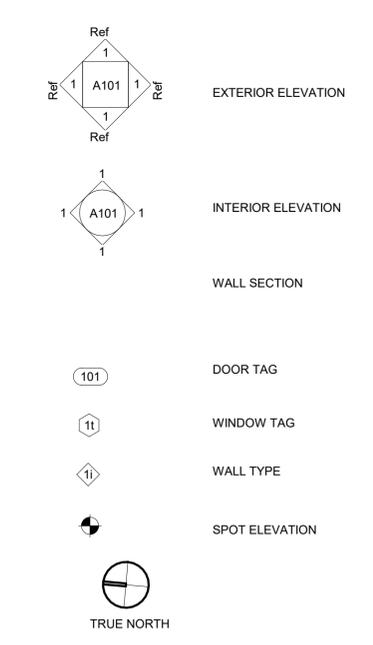
Civil Engineer:
 Pacheco Koch
 7557 Rambler Road
 Suite 1400
 Dallas, Texas 75231
 v: 972.235.3031

Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
 Wingate Inn of Addison Addition
 Addison, Texas
 Town Project No. 1809-Z

- ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
- CONTRACTOR TO VERIFY ALL MEP AND STRUCTURAL ENCLOSURES.
- DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED OR DETAILED.
- FOR FURTHER DIMENSIONING, SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS, AND DETAILS.
- SEE SHEET A8.01 FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES AND TOILET ACCESSORIES. CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXT. WINDOW FRAMES, CABINET WORK, AND CASEWORK W/ ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- PROVIDE 5/8" TYPE "X" GYP. BOARD ON ALL UNFINISHED WALLS.
- PROVIDE INSULATION ON ALL EXTERIOR WALLS AS INDICATED IN THE COMCHECK INCLUDED IN THE DOCUMENTS.
- ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE WEIGHT OF ATTACHED ITEMS IS TOO GREAT TO BE SUPPORTED BY METAL STUDS.
- ADD METAL STRAPS TO AREAS WITH LIGHTWEIGHT WALL MOUNTED EQUIPMENT OR FINISHES WHICH CANNOT MOUNT TO STUD SPACING.
- ALL DOOR FRAMES TO BE LOCATED 4" FROM ADJACENT WALL TO INSIDE OF DOOR FRAME UNLESS NOTED OTHERWISE.
- THERE SHALL BE NO WALL ACCESS PANELS IN THE PUBLIC SPACES. ALL ACCESS PANEL LOCATIONS SHALL BE APPROVED BY THE ARCHITECT.
- PROVIDE WATER RESISTANT GYP BOARD AT ALL PLUMBING FIXTURES, WITH THE EXCEPTION OF TILE BACKER AT TILED SHOWERS. DO NOT INSTALL WATER RESISTANT GYP BOARD IN CEILING.
- DO NOT BOLT, SHOT FASTEN, OR PENETRATE BOTTOM SURFACE OF JOISTS AND BEAMS. DO NOT BOLT HEAVY LOADS INTO FLAT SECTIONS OF SLABS. REVIEW PROPOSED CORE PENETRATIONS IN STRUCTURAL FLOORS, ROOFS, AND WALLS WITH ARCHITECT.



1 Level 2
 scale: 1/8" = 1'-0"



DATE:	07/06/2020
PROJECT NO.:	19006
REVISIONS:	08/12/20
SHEET TITLE:	Floor 2
SHEET NUMBER:	G122

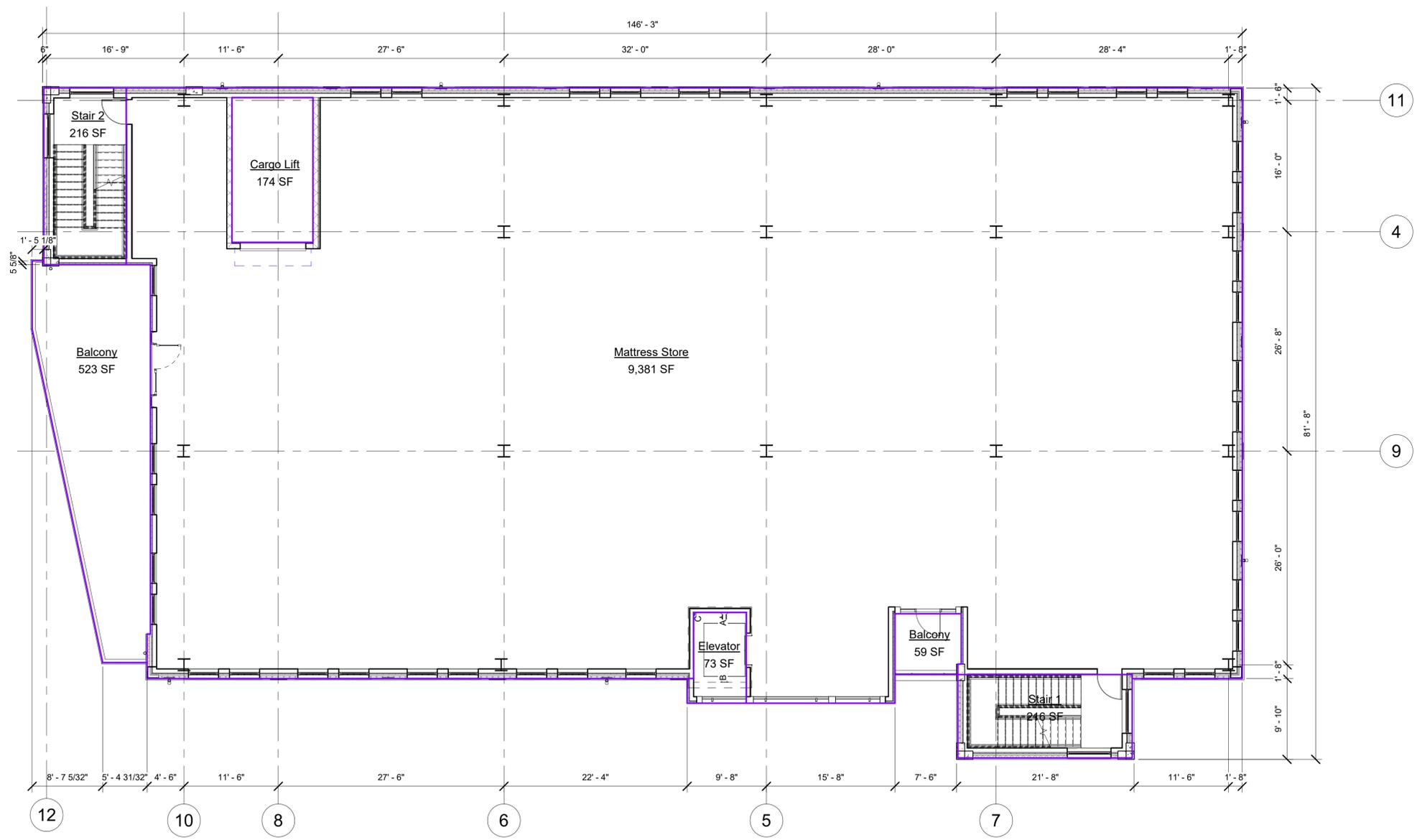
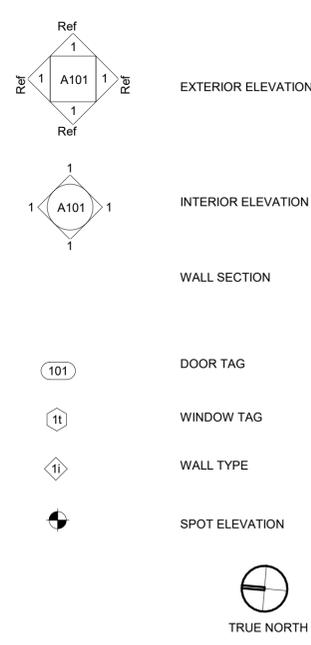
Owner:
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 4801 Arapaho Road
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 v: 214.810.4535

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 Dallas, Texas 75231
 v: 972.235.3031

Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
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 Addison, Texas
 Town Project No. 1809-Z

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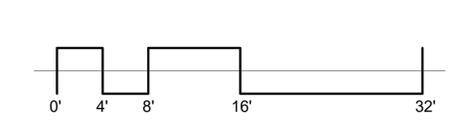


1 Level 3 (LEVEL 4 - IDENTICAL - 9,381 SF USE - CLOTHIER)
 scale: 1/8" = 1'-0"

DATE: 07/06/2020
 PROJECT NO: 19006
 REVISIONS: 08/12/20

SHEET TITLE:
Floors 3-4

SHEET NUMBER:



G123

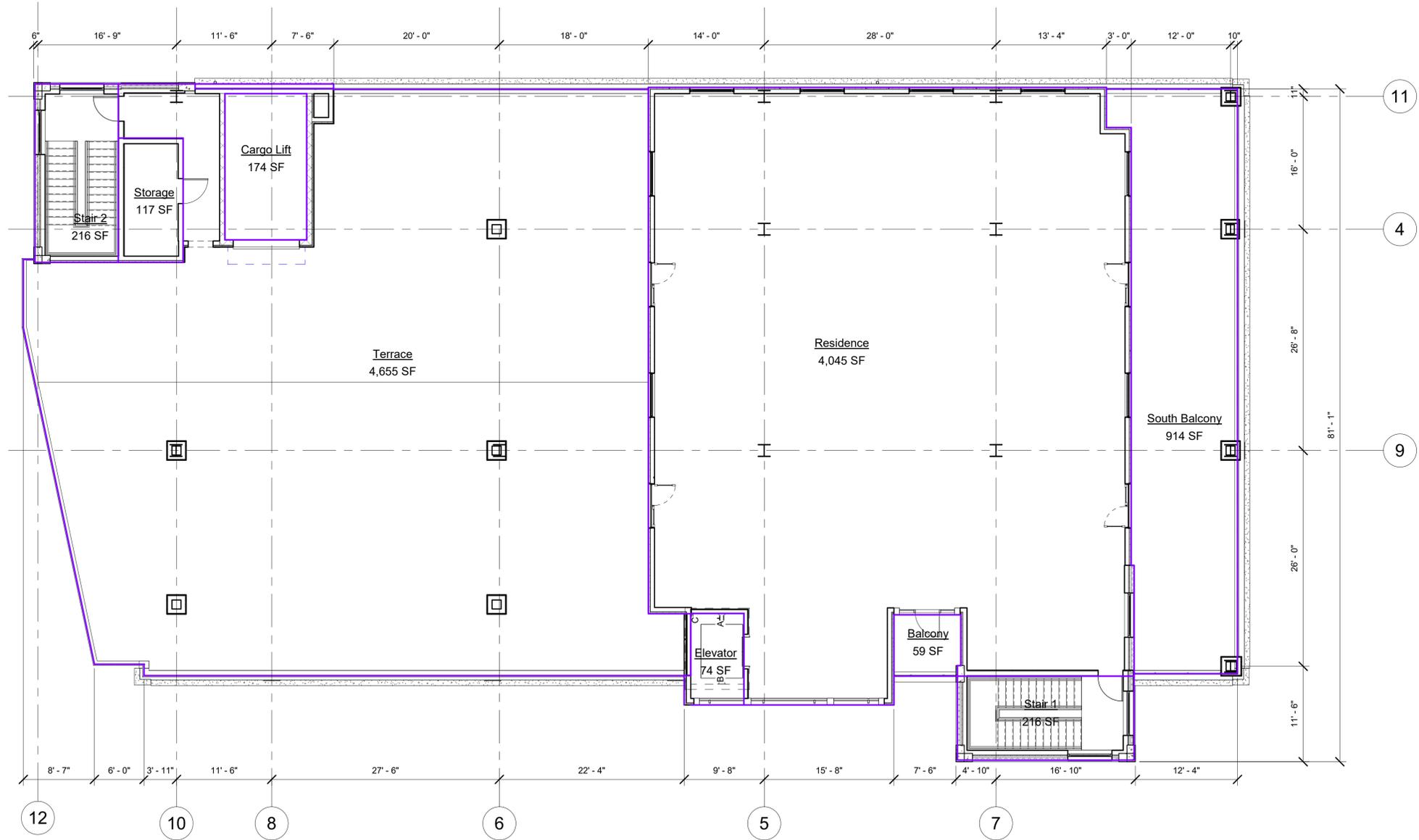
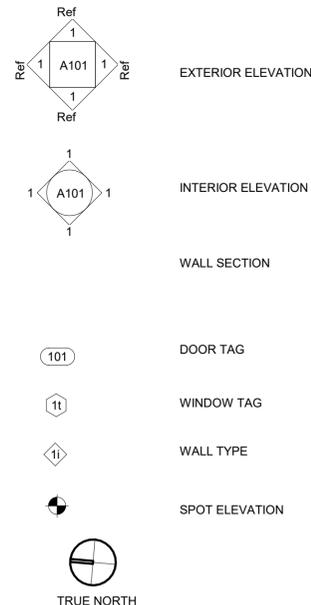
Owner:
 JB Baumann Holdings LLC
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 Addison, Texas 75001

Architect/Applicant:
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 100 N. Cottonwood Drive
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Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
 Wingate Inn of Addison Addition
 Addison, Texas
 Town Project No. 1809-Z

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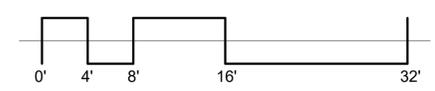
1 Level 5
 scale: 1/8" = 1'-0"

DATE: 07/06/2020
 PROJECT NO: 19006
 REVISIONS: 08/12/20

SHEET TITLE:
Floor 5

SHEET NUMBER:

G125





LEGEND

- B₁ BOLLARD
 - EM₁ ELECTRIC METER
 - PP₁ POWER POLE
 - LS₁ LIGHT STANDARD
 - WM₁ WATER METER
 - WV₁ WATER VALVE
 - ICV₁ IRRIGATION CONTROL VALVE
 - FH₁ FIRE HYDRANT
 - MC₁ CLEANOUT
 - MANH₁ MANHOLE
 - TSC₁ TRAFFIC SIGNAL CONTROL
 - TSP₁ TRAFFIC SIGNAL POLE
 - TELE₁ TELEPHONE BOX
 - FL₁ FLOOD LIGHT
 - FP₁ FLAG POLE
 - SIGN₁ TRAFFIC SIGN
- PROPERTY LINE
 - x- FENCE
 - 613 EXISTING CONTOUR
 - 450 PROPOSED CONTOUR
 - DRAINAGE FLOW DIRECTION
 - 100-YR FLOODPLAIN LIMITS
 - DRAINAGE DIVIDE
- DA 8
1.00
7.99
- PROPOSED DRAINAGE AREA ID
AREA IN ACRES
Q₁₀₀ IN CUBIC FEET PER SECOND

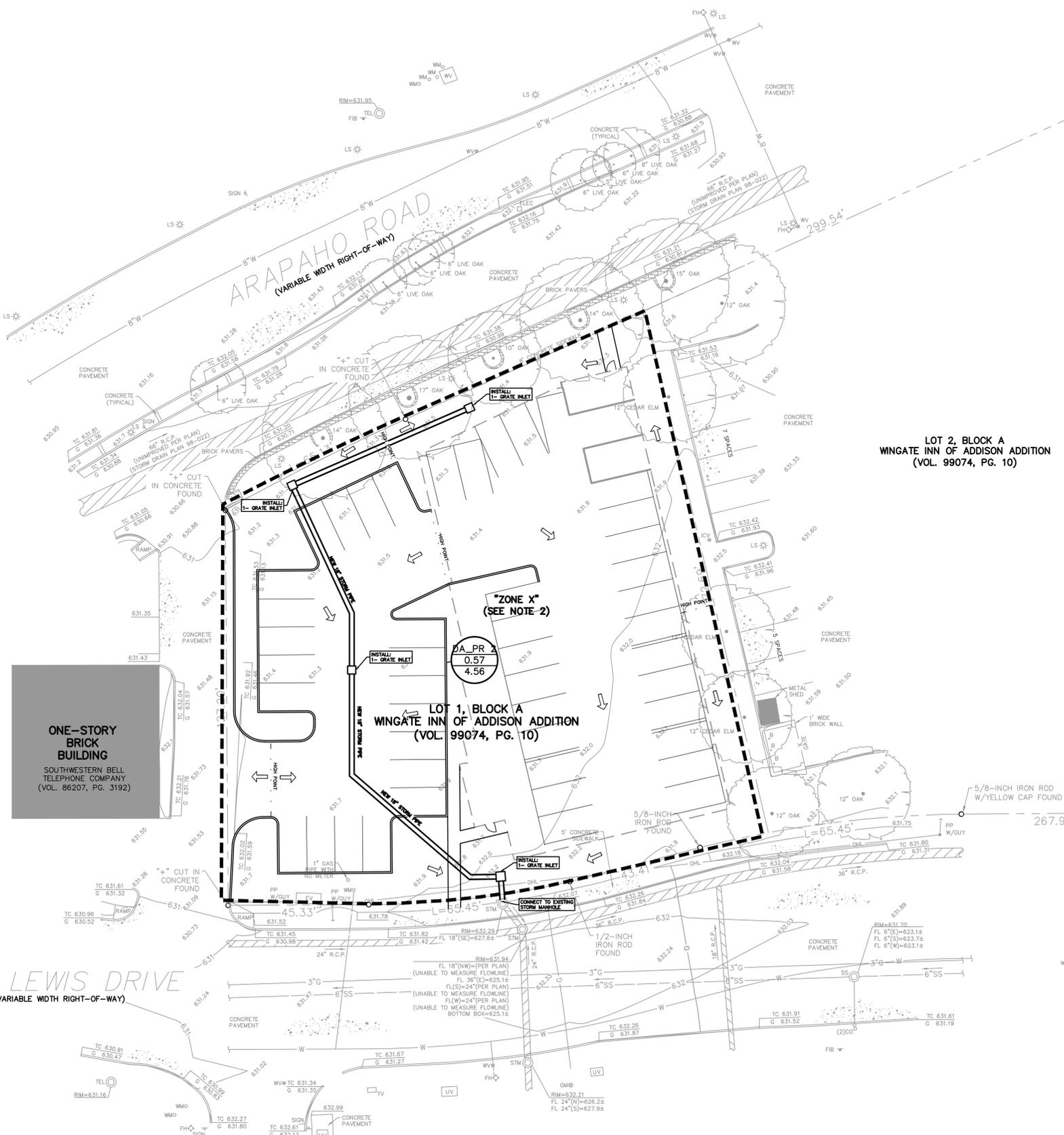
THE EXISTING DRAINAGE AREA MAP FOR THIS SITE WAS COMPLETED BY GINN, INC. CONSULTING ENGINEERS AS PART OF THE TOWN OF ADDISON-ARAPAHO ROAD/QUORUM DRIVE IMPROVEMENTS PACKAGE DATED DECEMBER 1983

EXISTING DRAINAGE AREA TABLE						
DRAINAGE AREA ID	AREA (acres)	C	T _c (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	COMMENTS
DA 1	0.57	0.95	10	11.6	6.28	DRAINS TO EXISTING STORM SYSTEM IN EDWIN LEWIS DRIVE

PROPOSED DRAINAGE AREA TABLE						
DRAINAGE AREA ID	AREA (acres)	C	T _c (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	COMMENTS
DA PR 2	0.57	4.56				

GRADING & DRAINAGE GENERAL NOTES

- REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
- UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN MAXIMUM LIFTS OF 6 INCHES.
- SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.
- GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO FEDERAL, STATE, AND LOCAL GUIDELINES.
- ALL PROPOSED AND EXISTING GRADES IN NON-PAVED AREAS ARE "FINISHED GRADE" (I.E. IN LANDSCAPE BEDS, TOP OF MULCH/BEDDING MATERIAL).
- UNLESS NOTED, STORM DRAIN LINES SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
 - 6.A. RCP C-76, CLASS III
 - 6.B. ADS N-12
 - 6.C. HANCOR HI-Q
 - 6.D. CONTECH ALUMINIZED ULTRA FLOW
- UNLESS NOTED, GRATE INLETS TO BE "FORTERRA PIPE AND PRECAST" CATCH BASIN SIZED AS SHOWN, OR APPROVED EQUAL.
- FINAL PAVING, CURB, AND SIDEWALK ELEVATIONS WILL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
- REFER TO LANDSCAPE SPECIFICATIONS FOR SEEDING AND SODDING REQUIREMENTS.
- ANY CONCRETE, ROCK, OR MATERIAL DEEMED BY THE ENGINEER TO BE UNSUITABLE FOR SUBGRADE SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS NEAR THE OUTLET PIPE.
- ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 702.2.4, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD TOWN SPECIFICATIONS.
- CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM FOR CRUSHED STONE BEDDING.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.



LOT 2, BLOCK A
WINGATE INN OF ADDISON ADDITION
(VOL. 99074, PG. 10)

LOT 1, BLOCK A
WINGATE INN OF ADDISON ADDITION
(VOL. 99074, PG. 10)

ONE-STORY
BRICK
BUILDING
SOUTHWESTERN BELL
TELEPHONE COMPANY
(VOL. 86207, PG. 3192)

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND, THEREFORE, REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO.	DATE	REVISION

7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-1008000

Pacheco Koch

PRELIMINARY DRAINAGE PLAN
BAUMANN BUILDING
LOT 1, BLOCK A
4901 ARAPAHO RD.
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
EMZ	GAC	MAR 2020				C1.1

PRELIMINARY
NOT FOR CONSTRUCTION

THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT SUPERVISION OF EMILY M. ZOELLNER, P.E.
TEXAS REGISTRATION NO. 123461
DATE: 03/30/2020

3/25/2020 3:24 PM
M:\DWG-29\2960-19\596\DWG\CIVIL.C3D 2018\2960-19\596\DAMS.DWG

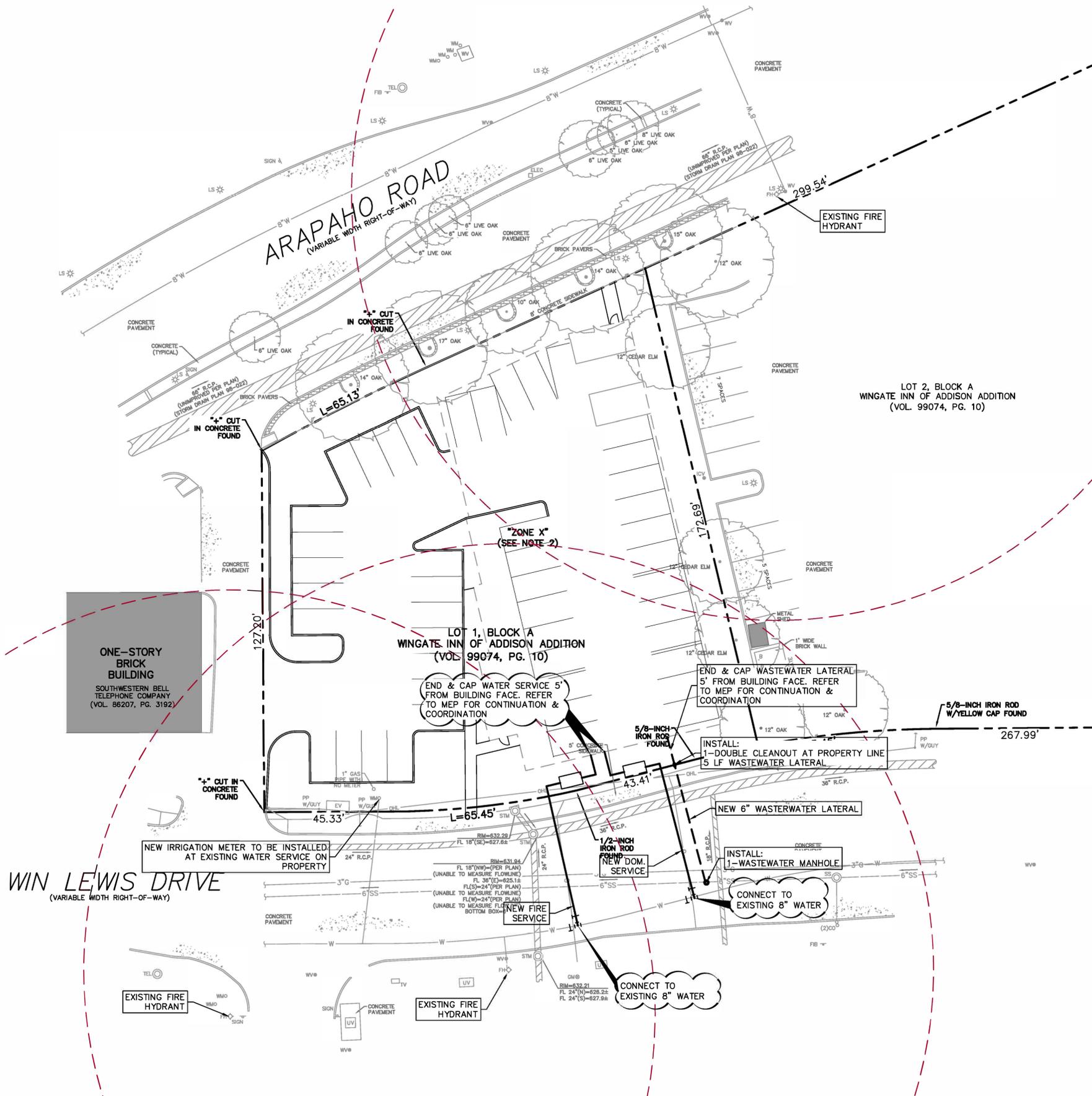


LEGEND

B	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FH	FIRE HYDRANT
CO	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TELE	TELEPHONE BOX
FL	FLOOD LIGHT
FP	FLAG POLE
SIGN	TRAFFIC SIGN
IRS	1/2-INCH IRON ROD
(C.M.)	W/"PACHECO KOCH" CAP SET
---	CONTROLLING MONUMENT
---	PROPERTY LINE
X	FENCE
OHL	OVERHEAD UTILITY LINE
E	UNDERGROUND ELECTRIC LINE
T	UNDERGROUND TELEPHONE LINE
C	UNDERGROUND CABLE LINE
6"W	UNDERGROUND WATER LINE
6"SS	UNDERGROUND SANITARY SEWER LINE
---	PROP. FDC LOCATION
---	PROP. WATER LINE W/ BEND
---	PROP. SANITARY SEWER LINE
---	FIRE HYDRANT CIRCLE
---	150' RADIUS

WATER & SANITARY SEWER GENERAL NOTES

- ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED.
- ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE FIRE PROTECTION PLANS TO BE PREPARED BY A LICENSED FIRE PROTECTION CONTRACTOR.
- WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES BELOW IMPROVED FINISHED GRADE, UNLESS OTHERWISE NOTED.
- SANITARY SEWER PIPE SHALL BE PVC SDR-35.
- WHEN WATER AND SANITARY SEWER MAINS, SERVICES, AND LATERALS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY:
 - TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATION DISTANCES.
 - TCEQ CHAPTER 290.44 WATER DISTRIBUTION, SECTION (e) LOCATION OF WATERLINES.
- CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL TIE A ONE INCH WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36 INCHES OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR ALLEY IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
- ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
- THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTILITY CONTRACTOR SHALL POUR A 24"x24"x6" CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE.
- CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICES AND MAINTAIN EXISTING SERVICES THROUGHOUT CONSTRUCTION.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.



THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEMS REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL

TOWN PROJECT NO. 1809-Z

PRELIMINARY NOT FOR CONSTRUCTION
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 PLANS PREPARED UNDER THE DIRECT SUPERVISION OF EMILY M. ZOELLNER, P.E. TEXAS REGISTRATION NO. 123461
 DATE: 03/30/2020

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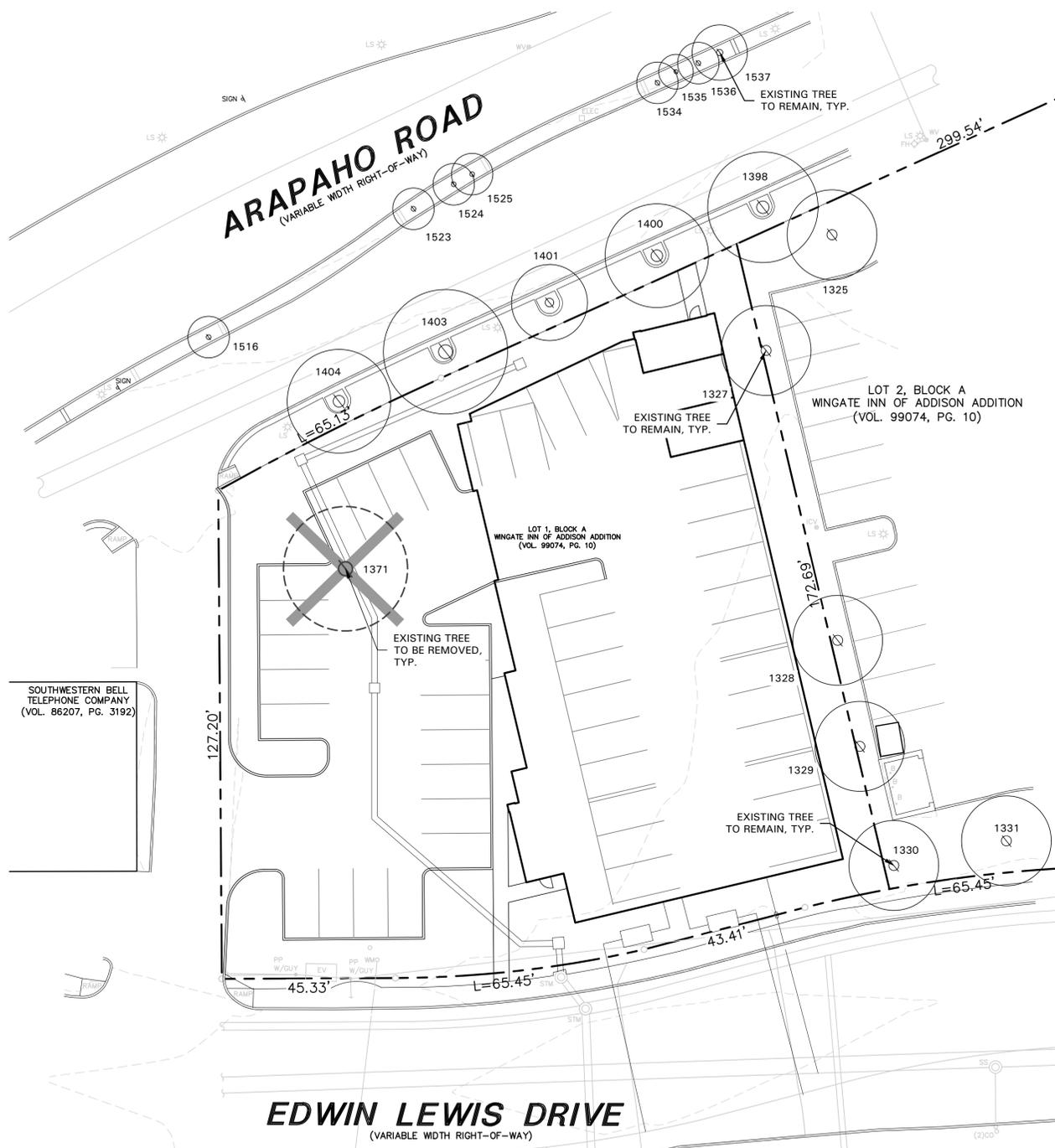
Pacheco Koch 7557 RAMBLER ROAD SUITE 1400
 DALLAS, TX 75231 972.235.3031
 TX REG. ENGINEERING FIRM F-468
 TX REG. SURVEYING FIRM LS-10008000

PRELIMINARY SITE UTILITY PLAN
BAUMANN BUILDING
LOT 1, BLOCK A
4901 ARAPAHO RD.
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
EMZ	GAC	MAR 2020	1"=20'			C1.2

3/25/2020 3:22 PM
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 E:\ZELLNER

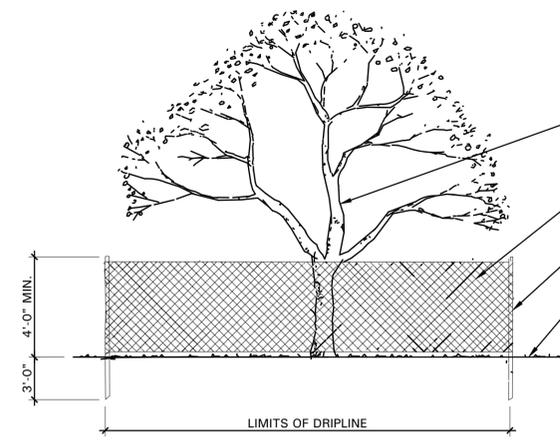
BAUMANN BUILDING



TREE SURVEY FIELD DATA				
No.	Di. (Inches)	Species (Common Name)	Status	Remarks
1325	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1327	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1328	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1329	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1330	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1331	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1371	17	OAK	TO BE REMOVED	
1398	15	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1400	14	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1401	10	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1403	17	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1404	14	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1516	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1523	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1524	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1525	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1534	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1535	5	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1536	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1537	8	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
Total Caliper Inches on Site				17
Total Caliper Inches Removed				17
Total Mitigation Inches Required				17

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



01 TREE PROTECTIVE FENCING
NOT TO SCALE



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214.865.7192 office



Baumann Building

4901 Arapaho Road
Lot 1, Block A
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Addison, Texas
Town Project No. 1809-Z

Project Number: 19147
Issue Date: 01.24.2020
Drawn By: NAY
Checked By: KAH

Revisions
No: Date: Detail:
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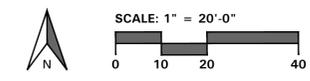
Sheet Title:
TREE PRESERVATION PLAN

Sheet Number:
L1.01

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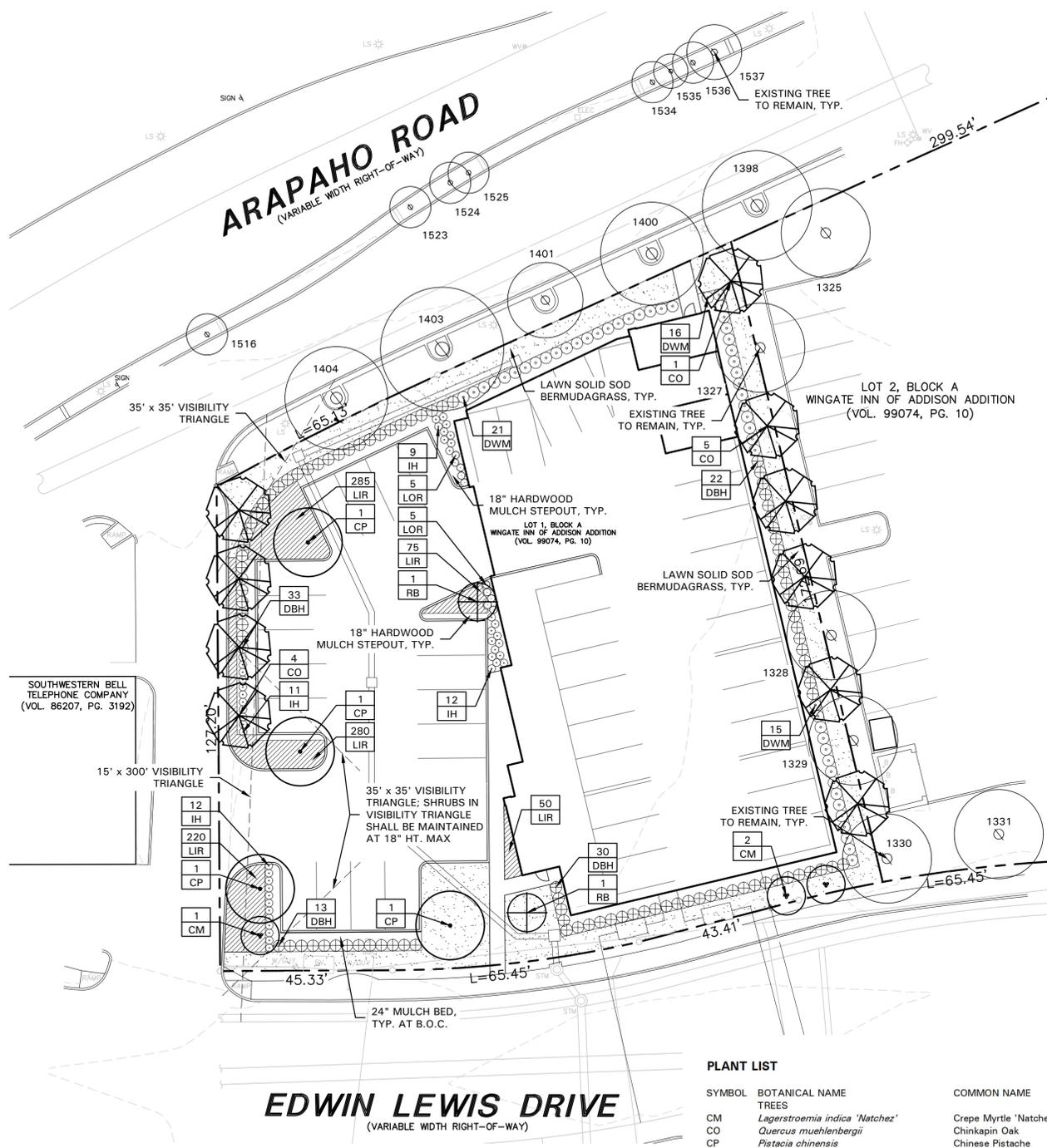
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LANDSCAPE PLAN

Sheet Number:

L2.01



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

SITE LANDSCAPE

1. 20% of the site to be landscape area.
Total Site Area: 24,730 s.f. (0.57 acre)

Required	Provided
4,946 s.f. (20%)	6,761 s.f. (27%)

STREET LANDSCAPE BUFFER

- 20' landscape buffer.
- One (1) shade tree, 4" cal., per 30 l.f. of street frontage.
- Evergreen shrubs planted 3' to 3.5' on center.

Arapaho Road: 150 l.f.

Required	Provided
20' landscape buffer	(4) existing trees
(5) trees, 4" cal.	(1) tree, 4" cal.
evergreen shrubs 3' o.c.	evergreen shrubs 3' o.c.

Edwin Lewis Drive: 177 l.f.

Required	Provided
20' landscape buffer	(1) tree, 4" cal.
(6) trees, 4" cal.	(4) trees, 3" cal.
evergreen shrubs 3' o.c.	evergreen shrubs 3' o.c.

PARKING LOT PERIMETER

- One (1) tree, 4" cal., per 35 l.f. of perimeter.
- Evergreen shrubs planted 3' to 3.5' on center.

Parking Lot Perimeter: 192 l.f.

Required	Provided
(5) shade tree, 4" cal.	(5) shade tree, 4" cal.
evergreen shrubs, 3' o.c.	evergreen shrubs, 3' o.c.

PARKING LOT SCREENING

- Evergreen shrubs, 3' ht., planted 3' on center in a single row in a bed at least 42" wide.
- Evergreen shrubs, 3' ht., must be at least 3.5' higher than the finished elevation of the adjacent parking lot.

Required	Provided
evergreen shrubs, 3' ht.	evergreen shrubs, 3' ht.

PARKING LOT LANDSCAPE

- 5% of the total parking area to be landscaped.
- One (1) large shade tree per 10 parking spaces.

Total Parking Area: 6,120 s.f.
Total Parking spaces: 20

Required	Provided
306 s.f. (5%)	1,204 s.f. (20%)
(2) shade trees, 4" cal.	(2) shade trees, 4" cal.

PLANT LIST

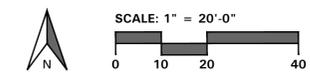
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica 'Natchez'</i>	Crepe Myrtle 'Natchez'	3	8' ht.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	10	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	4	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
RB	<i>Cercis canadensis 'Oklahoma'</i>	Oklahoma Redbud	2	3" cal.	container grown, 8' ht., 4' spread min.
SHRUBS/GROUND COVER					
DBH	<i>Ilex cornuta 'Dwarf Burford'</i>	Dwarf Burford Holly	98	5 gal.	container full, 20" spread, 36" o.c.
DWM	<i>Myrica pusilla</i>	Dwarf Wax Myrtle	52	5 gal.	container full, 20" spread, 36" o.c.
IH	<i>Raphiolepis indica 'Clara'</i>	Indian Hawthorne 'Clara'	44	5 gal.	container full, 20" spread, 24" o.c.
LIR	<i>Liriope muscari 'Big Blue'</i>	Liriope 'Big Blue'	910	4" pots	container full top of container, 12" o.c.
LOR	<i>Loropetalum chinensis 'Plum Delight'</i>	Loropetalum 'Plum Delight'	10	3 gal.	container full, 18" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

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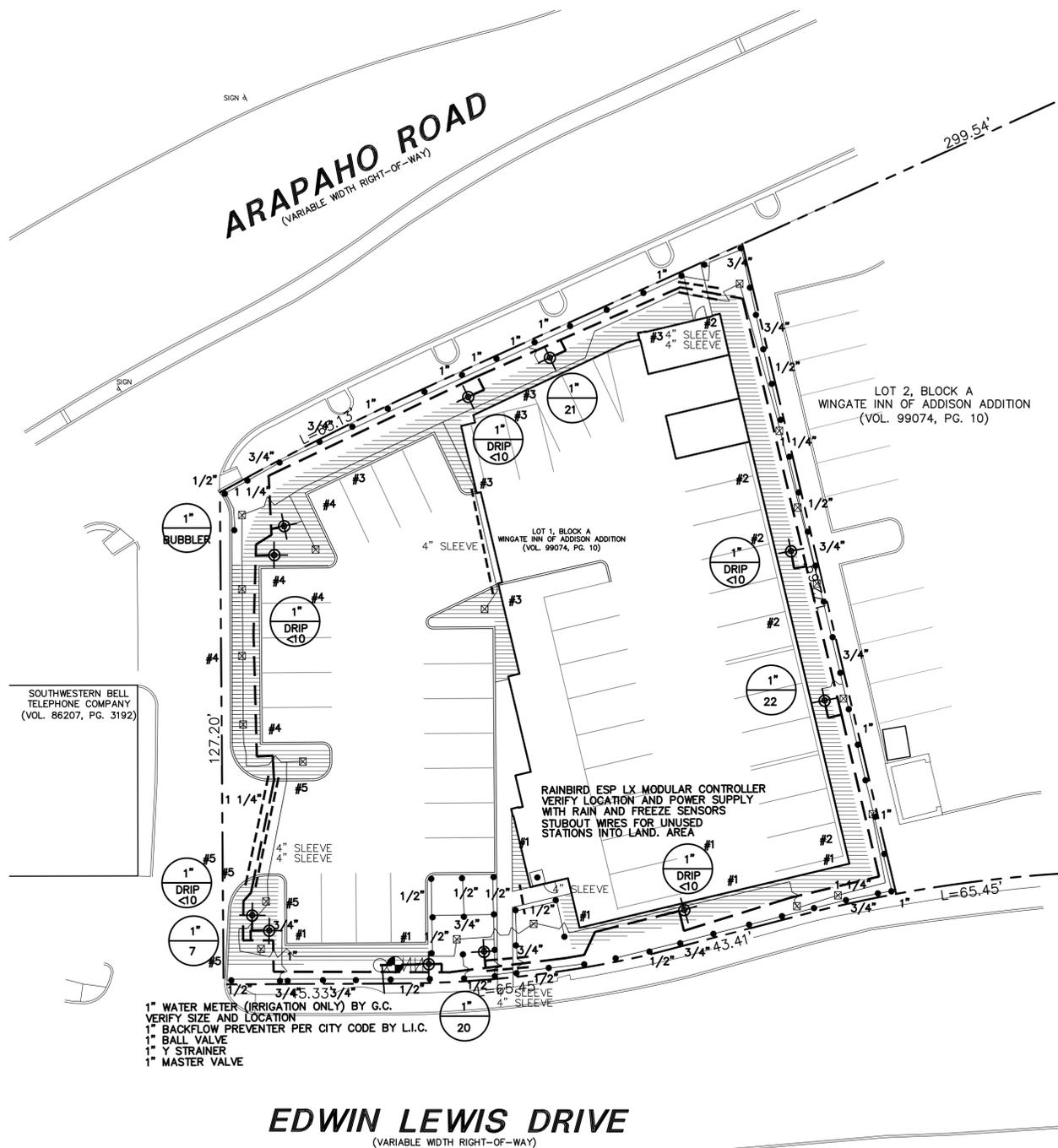
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IRRIGATION PLAN

Sheet Number:

L3.01



- 1" WATER METER (IRRIGATION ONLY) BY G.C. VERIFY SIZE AND LOCATION
- 1" BACKFLOW PREVENTER PER CITY CODE BY L.I.C.
- 1" BALL VALVE
- 1" Y STRAINER
- 1" MASTER VALVE

SLEEVING NOTES

1. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
2. SLEEVE MATERIAL SHALL BE SCHEDULE 40 PIPE, SIZE AS INDICATED ON PLAN.
3. CONTRACTOR SHALL LAY SLEEVES AND CONDUITS AT TWENTY-FOUR (24") INCHES BELOW FINISH GRADE OF THE TOP OF PAVEMENT.
4. CONTRACTOR SHALL EXTEND SLEEVES ONE (1') FOOT BEYOND EDGE OF ALL PAVEMENT.
5. CONTRACTOR SHALL CAP PIPE ENDS USING PVC CAPS.
6. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION NOTES

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE RAINBIRD EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN 65 P.S.I., NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. DO NOT WORK UNTIL NOTIFIED TO DO SO BY OWNER.
4. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
5. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
6. LAWN SPRAY HEADS SHALL BE RAINBIRD 1804 INSTALLED PER DETAIL SHOWN.
7. ROTOR HEADS SHALL BE RAINBIRD 5000 INSTALLED PER DETAIL SHOWN. (WITH BUILT-IN CHECK VALVE)
8. NOZZLES SHALL BE RAINBIRD PLASTIC, UNLESS OTHERWISE NOTED. IRRIGATION CONTRACTOR SHALL SELECT THE PROPER ARC AND RADIUS FOR EACH NOZZLE TO ENSURE 100% AND PROPER COVERAGE OF ALL LAWN AREAS AND PLANT MATERIAL. NO WATER SHALL SPRAY ON BUILDING.
9. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
10. ELECTRIC CONTROL VALVES SHALL BE RAINBIRD PEB INSTALLED PER DETAIL SHOWN. SIZE OF VALVES AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL OPERATION, REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION.
11. ALL 24 VOLT VALVE WIRING TO BE UF 14 GAUGE SINGLE CONDUCTOR. ALL WIRE SPLICES ARE TO BE PERMANENT AND WATERPROOF.
12. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
13. THE DESIGN PRESSURE IS 65 PSI.
14. ELECTRICAL SPLICES AT EACH VALVE AND CONTROLLER ONLY.
15. IRRIGATION IN TEXAS IS REGULATED BY: THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) MC-178 / PO BOX 13087 AUSTIN, TEXAS 78711-3087
16. TCEQ'S WEBSITE IS WWW.TCEQ.STATE.TX.US.

IRRIGATION LEGEND

- RAINBIRD 1804 POP-UP LAWN HEAD
- MP HUNTER MP ROTATOR NOZZLE
- RAINBIRD 5000 ROTARY FC
- RAINBIRD 5000 ROTARY PC
- ⊗ RAINBIRD BUBBLER (2 PER TREE, TYP.)
- ⊕ RAINBIRD PEB SERIES ELECTRIC VALVE
- CONTROLLER, SIZE AS INDICATED
- WATER METER, SIZE AS INDICATED WITH D.C.A., SIZE AS INDICATED
- PVC SCHEDULE 40 SLEEVING
- PVC CLASS 200 MAINLINE
- PVC CLASS 200 LATERAL LINE
- XXX VALVE SIZE GPM
- NETAFIM TECHLINE#TDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- NETAFIM TECHLINE#TDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- XXX NETAFIM DISC FILTER #DF100-080 NETAFIM PRESSURE REGULATOR #PRV15025 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS

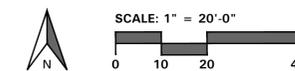
BUBBLER PIPING CHART

NUMBER OF BUBBLERS	SIZE OF PIPE
1 - 5	3/4"
6 - 10	1"
11 - 20	1 1/4"
21 - 30	1 1/2"
31 - 40	1 3/4"

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SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

- 1.1 DESCRIPTION
 - A. Provide underground irrigation sleeves as indicated on the drawings.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE
 - A. Section 32 8424 - Irrigation System
- 1.3 REFERENCED STANDARDS
 - A. American Society for Testing and Materials:
 1. ASTM - D2441 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SD R-PR)
 2. ASTM - D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 40.
 3. ASTM - D2564 Solvent Cements for Poly Vinyl Chloride Plastic Pipe and Fittings.

PART 2 - MATERIALS

- 2.1 DEFINITIONS
 - A. Sleeve - A pipe within which another pipe is placed for carrying water or other utilities to be installed.
 - B. Wire Sleeves - A pipe used to carry low voltage irrigation wires for operation of the electric solenoid valves.
- 2.2 GENERAL
 - A. Polyvinyl Chloride Pipe (PVC) - Manufactured in accordance with standards noted herein:
 1. Marking and Identification - Permanently marked with SDR number, ASTM standard number, and the NSF (National Sanitation Foundation) seal.
 2. Solvent - As recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.

PART 3 - EXECUTION

- 3.1 INSTALLATION
 - A. Coverage - Provide twenty-four inches (24") minimum cover over top of sleeve from finish grade.
 - B. Sleeve Extensions - Extend sleeves one foot (1') past edge of pavement or concrete walls. Install 90 degree elbow on each sleeve end and add additional length of same size pipe to extend above finish grade by twelve inches (12"). Cap pipe ends using duct tape.
- 3.2 BACKFILL
 - A. Compaction - Place backfill over sleeves in six (6") inch lifts. Tamp firmly into place taking care not to damage sleeve. Complete backfill and compaction to prevent any future settlement. Compact to 85% Standard Proctor.
 - B. Damage - Repair any damage resulting from improper compaction including pavement repair and replacement.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

- 1.1 SCOPE
 - A. Provide complete sprinkler installation as detailed and specified herein, includes furnishing all labor, material, tools, equipment, and related items for the complete and proper

installation of the irrigation system as indicated by the Drawings. All costs associated with this installation, including fees for testing and inspections of the system components are the responsibility of the installer of this irrigation system.

- B. Work includes but is not limited to:
 1. Trenching and backfill.
 2. Installation of automatic controlled system.
 3. Upon completion of installation, supply as-built drawings showing details of construction including location of mainline piping, manual and automatic valves, electrical supply to valves, and specifically the exact location of automatic valves.
- C. All sleeves as shown on plans shall be furnished by General Contractor. Meter and power source shall be provided by General Contractor.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Refer to Irrigation Plans for controller, head, and valve locations.
- B. Section 32 8423 - Underground Irrigation Sleeves and Utility Conduits
- C. Section 32 9300 - Landscape
- D. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.3 APPLICABLE STANDARDS

- A. America Standard for Testing and Materials (ASTM) - Latest edition.
 1. D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
 2. D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Thread, Schedule 80
 3. D2455 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Schedule 40
 4. D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 80
 5. D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings
 6. D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe
 7. F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer
 8. D2855 Making Solvent - Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings

1.4 MAINTENANCE AND GUARANTEE

- A. The Contractor shall guarantee materials and workmanship for one (1) calendar year after final acceptance by Owner.
- B. Guarantee is limited to repair and replacement of defective materials or workmanship, including repair of backfill settlement.
- C. Provide maintenance of system, including raising and lowering of heads to compensate for lawn growth, cleaning and adjustment of heads, and raising and lowering of shrub heads to compensate for shrub growth for one (1) year after completion of installation.

1.5 SUBMITTALS

- A. Procedure: Comply with Division I requirements.
- B. Product Data: The Contractor shall submit five (5) copies of equipment manufacturer's cut sheets and shop drawings for approval by Owner Authorized Representative prior to installation, including, but not limited to the following: sprinkler head, pipe, controller, valves, backflow prevention devices, valve boxes, wire, conduit, fittings, and all other types of fixtures proposed to be installed on the job. The submittal shall include the manufacturer's name, model number, equipment capacity, and manufacturer's installation recommendations, if applicable, for each proposed item.
- C. No work covered under this section may begin until the

Contractor has submitted the required information. No partial submittal shall be accepted and submittals shall be neatly bound into a brochure and logically organized. After the submittal has been approved, substitutions will not be allowed, except by written consent by the Owner Authorized Representative.

- D. Shop drawings include dimensions, elevations, construction details, arrangements, and capacity equipment, as well as manufacturer's installation recommendations.
- E. Operating and Maintenance Manuals:
 1. Provide three (3) individually bound manuals detailing operating and maintenance requirements for the irrigation system.
 2. Manuals shall be delivered to the Owner Authorized Representative no later than ten (10) days prior to completion of the irrigation system.
 3. Provide descriptions of all installed materials and systems in sufficient detail to permit maintenance personnel to understand, operate, and maintain the equipment.
 4. Provide the following in each manual:
 - a. Index sheet with Contractor's name, address, telephone number, and contact name.
 - b. Duration of guarantee period. Include warranties and guarantees extended to the Owner by the manufacturer of all equipment.
 - c. Equipment list providing the following for each item:
 - 1) Manufacturer's name
 - 2) Make and model number
 - 3) Name and address of local part's representative
 - 4) Spare parts list in detail
 - 5) Details operating and maintenance instructions for major equipment.

- F. Project Record Documents:
 1. Comply with Division I requirements.
 2. Locate by written dimension, routing of mainline piping, remote control valves, and quick coupling valves. Locate mainlines by single dimensions from permanent site features provided they run parallel to these elements. Locate valves, intermediate electrical connections, and quick couplers by two dimensions from a permanent site feature at approximately 70 degrees to each other.
 3. When dimensioning is complete, transpose work to bond paper.
 4. Submit three (3) copies of the completed as-built drawings, along with a CD with PDF files of the same, to the Owner Authorized Representative prior to final acceptance of the work. Mark drawings "Record Prints Showing Significant Changes". Date and sign drawings.

- G. Quick Coupler Keys: Provide three (3) coupler keys with boiler drains attached using brass reducer.
- H. Controller Keys: Provide three (3) sets of keys to controller enclosures(s).

- I. Use of materials differing in quality, size, or performance from those specified shall only be allowed upon written approval of the Landscape Architect. The decision shall be based on comparative ability of material or article to perform fully all purposes of mechanics and general design considered to be possessed by item specified.

- J. Bidders desiring to make a substitution for specified sprinklers shall submit manufacturer's catalog sheet showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.

- K. Approval of substitute sprinkler shall not relieve Irrigation Contractor of his responsibility to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system.

- L. It is the responsibility of the Irrigation Contractor to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system. If Irrigation Contractor notes any problems in head spacing or potential coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with

work. Irrigation Contractor guarantees 100% coverage of all areas to be irrigated.

1.6 TESTING

- A. Perform testing required with other trades, including earthwork, paving, plumbing, electrical, etc., to avoid unnecessary cutting, patching, and boring.
- B. Water Pressure: This irrigation system has been designed to operate with a minimum static water pressure indicated on Drawings. The Contractor shall take a pressure reading at each water meter prior to beginning construction. Confirm findings to Owner Authorized Representative in writing. If static pressure varies from pressure stated on drawings, do not start work until notified to do so by Owner Authorized Representative.

1.7 COORDINATION

- A. Coordinate installation with other trades, including earthwork, paving, and plumbing to avoid unnecessary cutting, patching and boring.
- B. Coordinate to ensure that electrical power source is in place.
- C. Coordinate system installation with work specified in other sections and coordinate with Landscape Contractor to ensure plant material is uniformly watered in accordance with intent shown on drawings.

PART 2 - PRODUCTS

2.1 GENERAL

- A. Mainline: Mainlines are the piping from water source to operating valves. This portion of piping is subject to surges, being a closed portion of sprinkler system. Hydrant lines are considered a part of sprinkler main.
- B. Lateral Piping: Lateral piping is that portion of piping from operating valve to sprinkler heads. This portion of piping is not subject to surges, being an "open end" portion of sprinkler system.

2.2 POLY VINYL CHLORIDE PIPE (PVC PIPE)

- A. PVC pipe shall be manufactured in accordance with commercial standards noted herein.
- B. Marking and Identification: PVC pipe shall be continuously and permanently marked with the following information: manufacturer's name, pipe size, type of pipe, and material, SDR number, product standard number, and the NSF (National Sanitation Foundation) seal.
- C. PVC Pipe Fittings: Shall be of the same material as the PVC pipe specified and shall be compatible with PVC pipe furnished.

2.3 COPPER TUBING

- A. Hard, straight lengths of domestic manufacture only. Do not use copper tube of foreign extrusion or any so-called irrigation tubing (thin wall).

2.4 COPPER TUBE FITTINGS

- A. Cast brass or wrought copper, sweat - solder type.
- A. Type UF with 4/64" thick waterproof insulation which is Underwriter's Laboratory approved for direct underground burial when used in a National Electric Code Class II Circuit (30 volts AC or less).
- B. Wire Connectors: Waterproof splice kit connectors. Type DBY by 3M.

2.6 SCHEDULE 80 PVC NIPPLES

- A. Composed of Standard Schedule 40 PVC Fittings and PVC

meeting noted standards. No clamps or wires may be used. Nipples for heads and shrub risers to be nominal one-half inch (1/2") diameter by eight (8") inches long, where applicable.

- B. Polyethylene nipples six (6") inches long shall be used on all pop-up spray heads.

2.7 MATERIALS - SEE IRRIGATION PLAN

- A. Sprinkler heads in lawn area as specified on plan.
- B. PVC Pipe: Class 200, SDR 21
- C. Copper Tubing (City Connection): Type "M"
- D. 24V Wire: Size 14, Type UF
- E. Electric valves: Shall be all plastic construction as indicated on plans.
- F. Backflow Prevention Device: Refer to drawing requirements and flow valve. Coordinate exact location with General Contractor.

PART 3 - EXECUTION

3.1 INSTALLATION - GENERAL

- A. Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Owner Authorized Representative before proceeding with work.
- B. Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material removed, provided that the earth is suitable for compaction and contains no lumps, clods, rock, debris, etc. Special backfill specifications, if furnished take preference over this general specification.
- C. Backfill: Flood or hand-tamp to prevent after settling. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.
- D. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in such a manner as to avoid damage to plantings. Do not dig within ball of newly planted trees or shrubs. In areas where existing trees are present, trenches shall be adjusted on-site to provide a minimum clearance of four (4) feet between the drip line of any tree or trench. The Contractor shall notify the Owner Authorized Representative in writing of a planned change in trench routing from that shown on the drawings.

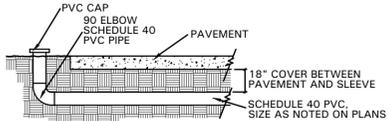
3.2 PIPE INSTALLATION

- A. Sprinkler Mains: Install a four (4") inch wide minimum trench with a minimum of eighteen (18") inches of cover.
- B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of cover.
- C. Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe shall not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of pipe.

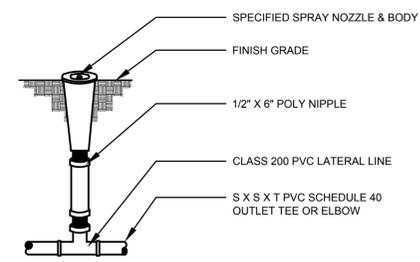
3.3 PVC PIPE AND FITTING ASSEMBLY

- A. Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.
- B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Permatex No. 2 on threaded PVC adapters into which pipe may be welded.

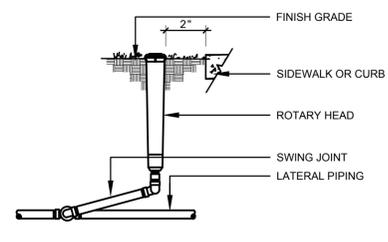
END OF SECTION



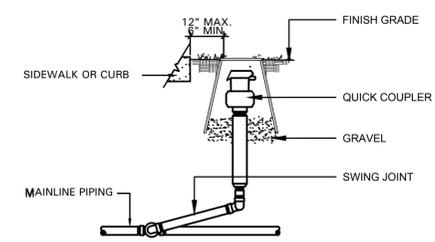
01 SLEEVE DETAIL
NOT TO SCALE



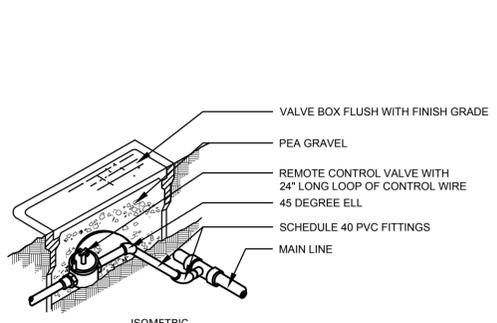
02 POP-UP LAWN SPRAY ASSEMBLY
NOT TO SCALE



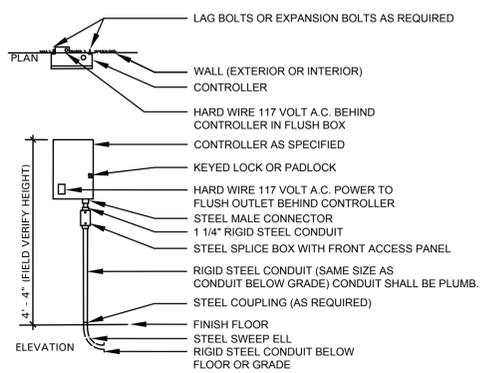
03 ROTARY HEAD
NOT TO SCALE



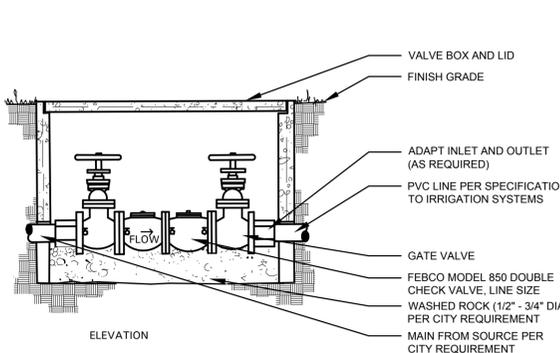
04 QUICK COUPLER
NOT TO SCALE



05 REMOTE CONTROL VALVE
NOT TO SCALE



06 WALL MOUNTED CONTROLLER
NOT TO SCALE



07 BACKFLOW PREVENTER
NOT TO SCALE



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Baumann Building
4901 Arapaho Road
Lot 1, Block A
Wingate Inn of Addison Addition
Addison, Texas
Town Project No. 1809-Z

Project Number: 19147
Issue Date: 01.24.2020
Drawn By: JJW
Checked By: JJW

Revisions
No: Date: Detail:
03.27.20 City Comments

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IRRIGATION SPECIFICATIONS AND DETAILS

Sheet Number:
L3.02

