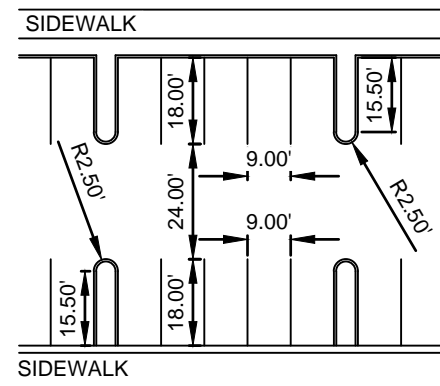


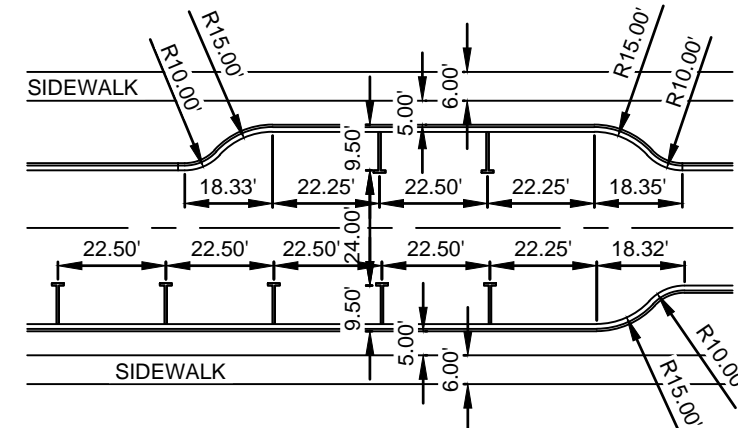
Town Project #: 1821-Z

NO FLOODPLAIN EXISTS ON THE SITE

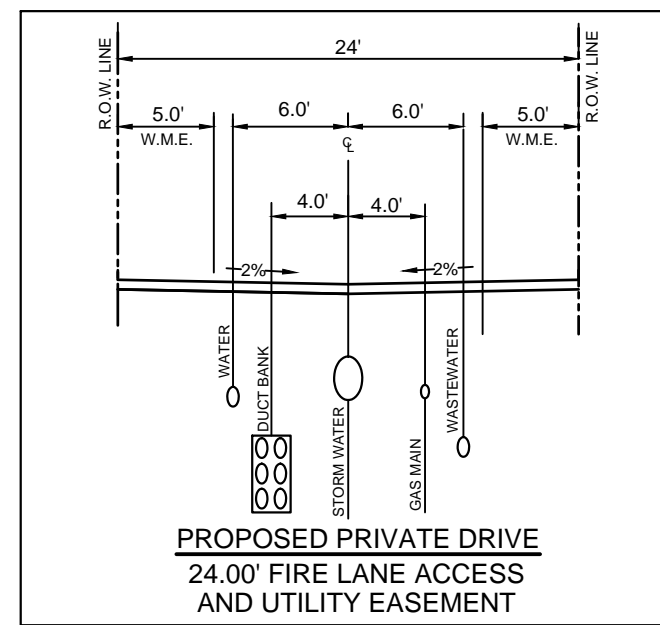
VICINITY MAP



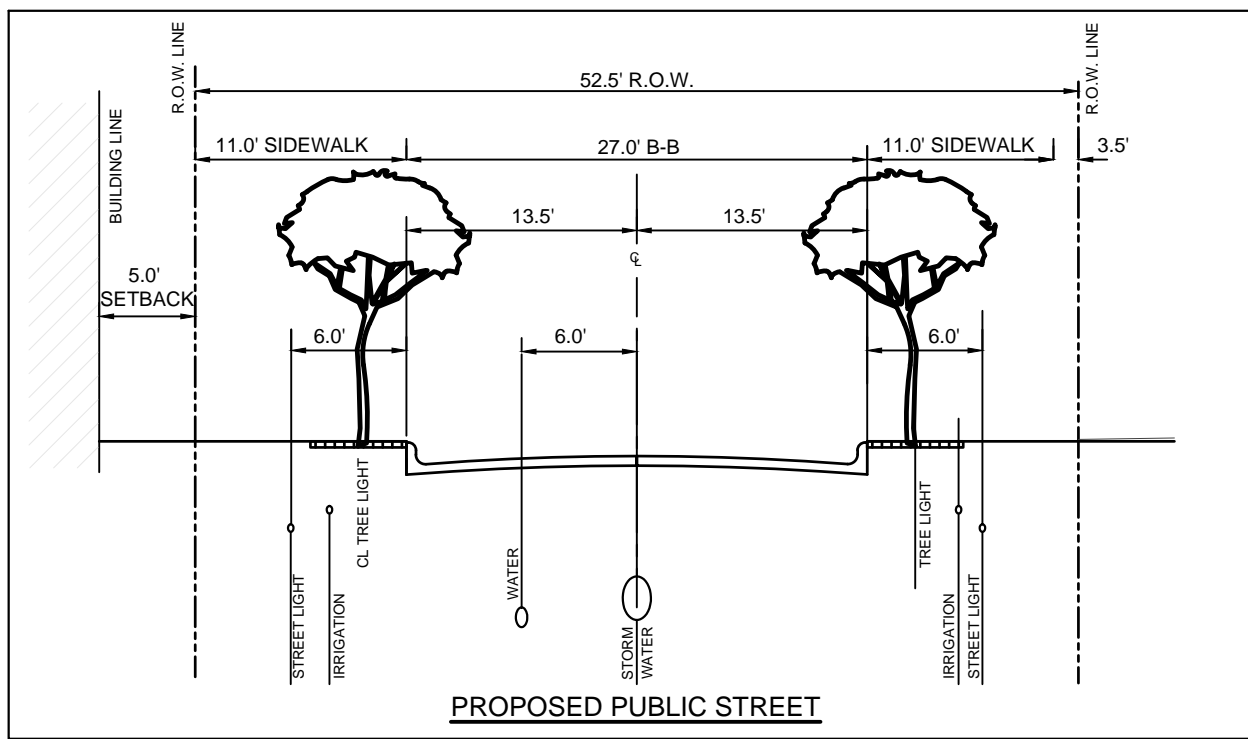
HEAD-IN PARKING
DETAIL (TYPICAL)
SCALE: 1" = 40'



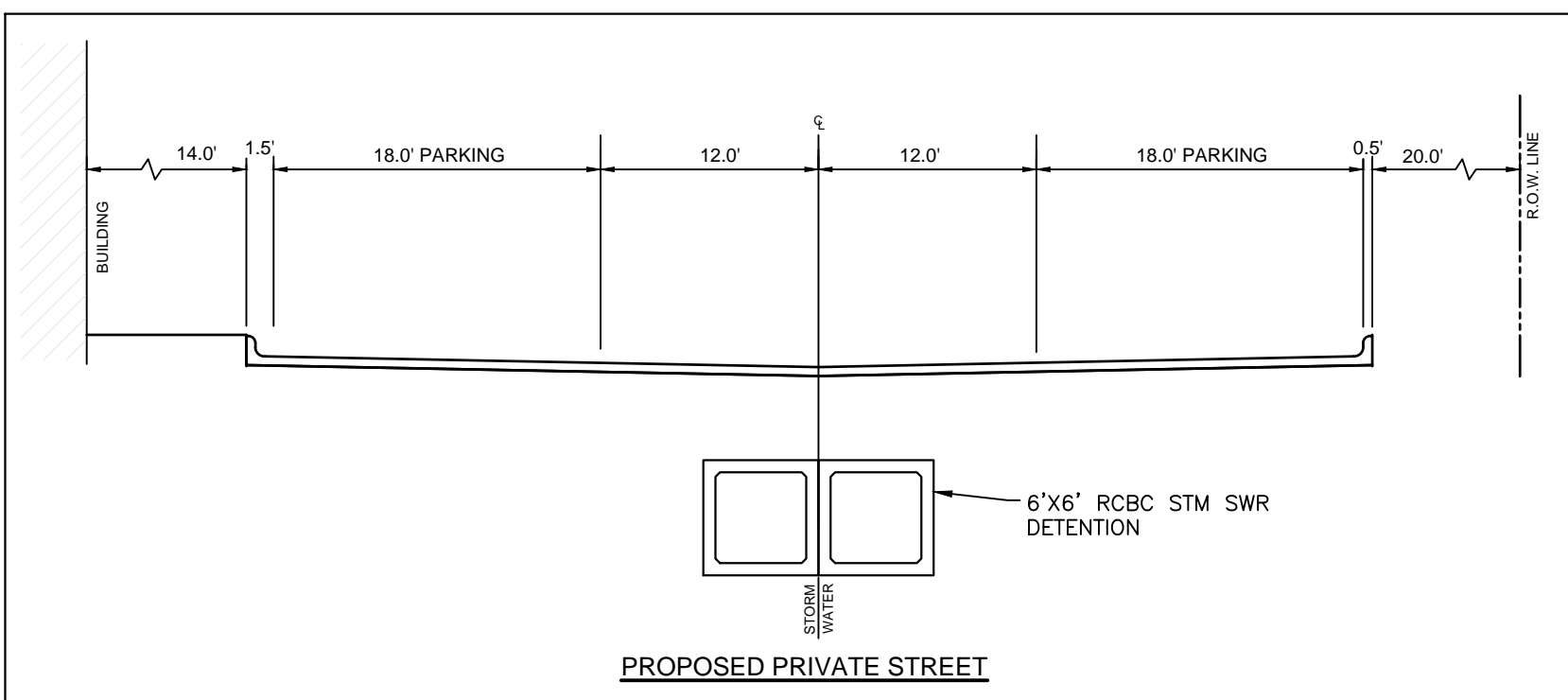
ON-STREET PARKING
DETAIL (TYPICAL)
SCALE: 1" = 40'



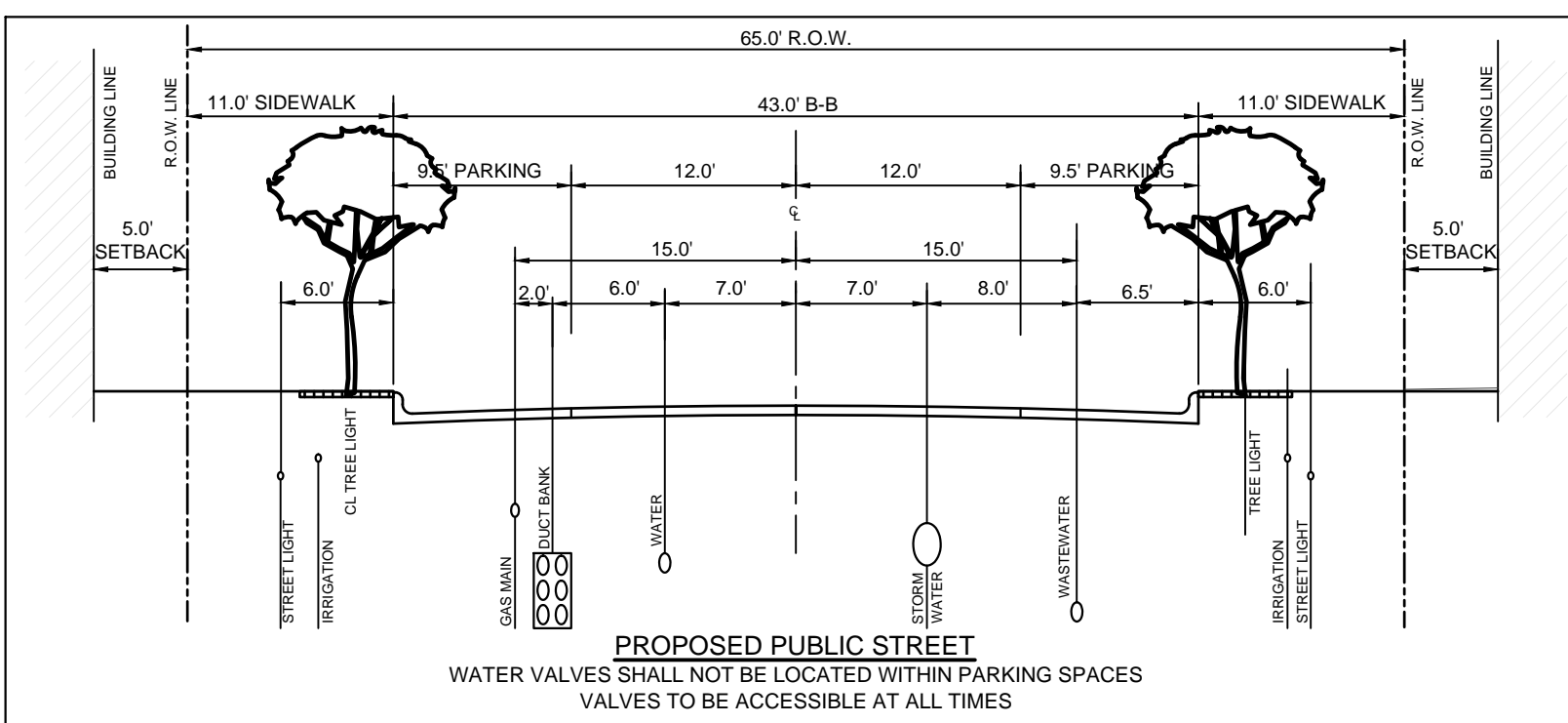
SECTION D-D



SECTION C-C



SECTION B-B



SECTION A-A

4100 BELTLINE RD
NATIONAL RETAIL PROPERTIES LTD.
COMMERCIAL IMPROVEMENTS
PLANNED DEVELOPMENT
SAM'S CLUB ADDITION
'RAISING CANES'
FAST FOOD RESTAURANT

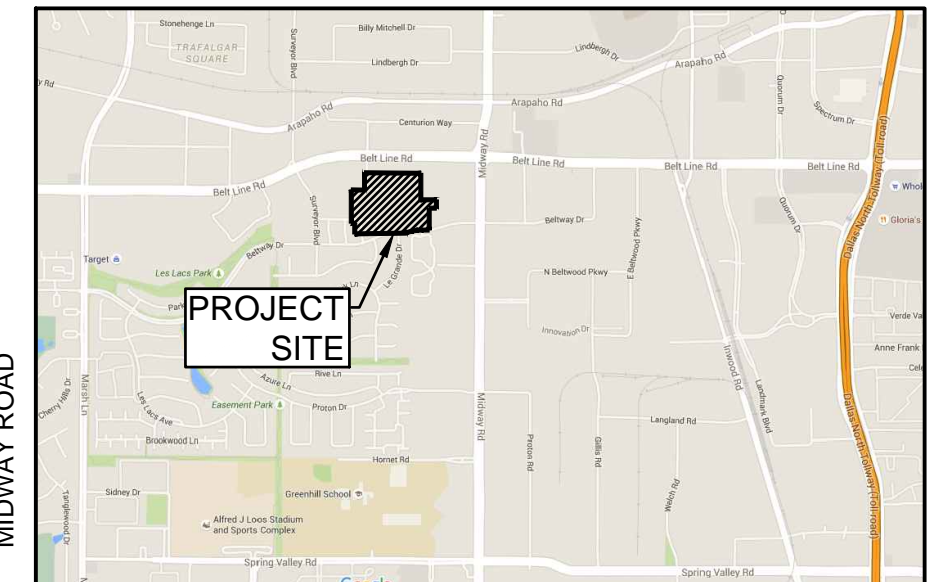
4080 BELTLINE RD
4080 BLR LTD.
BELTLINE CENTER
COMMERCIAL IMPROVEMENTS
PLANNED DEVELOPMENT
'AZURE RESTAURANT'

4090 BELTLINE RD
EQUINOX HOTEL ADDISON LLC
BELTLINE CENTER
BLOCK 1, LOT 24
COMMERCIAL IMPROVEMENTS
PLANNED DEVELOPMENT
'HILTON GARDEN INN'

4180 BELTLINE RD
TRITON ADDISON
BELTLINE LLC.
SAM'S CLUB
BLOCK A, LOT 2
COMMERCIAL
IMPROVEMENTS
PLANNED DEVELOPMENT
SUITE A: SNUFFERS
RESTAURANT & BAR
SUITE B: TAQUERIA LA
VENTANA

4050 BELTLINE RD
WALMART STORES,
INC.
SAM'S CLUB
BLOCK A, LOT 1
COMMERCIAL
IMPROVEMENTS
PLANNED
DEVELOPMENT
TO BE DEDICATED
TO THE TOWN OF
ADDISON
(1.2393 AC.)

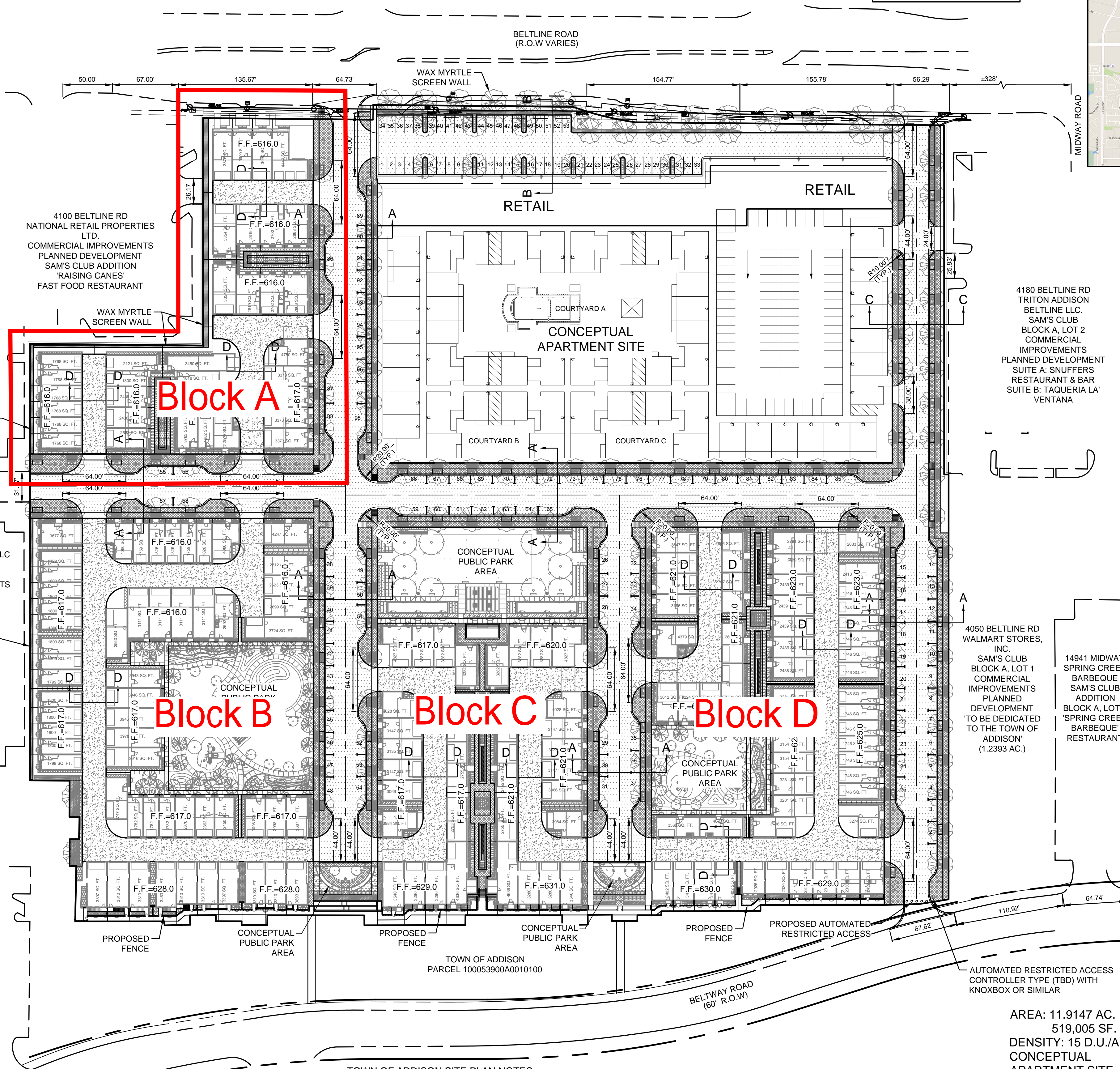
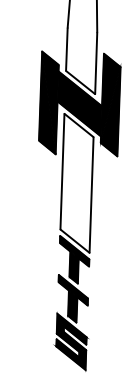
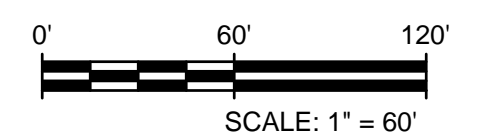
14941 MIDWAY
SPRING CREEK
BARBEQUE
SAM'S CLUB
ADDISON
BLOCK A, LOT 3
'SPRING CREEK
BARBEQUE'
RESTAURANT



UTILITY LEGEND

- PROPOSED TREE WELL
- PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE-24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK

14941 MIDWAY
PIEDMONT MIDWAY PS LP
ADDISON PLAZA COMMERCIAL -
VACANT PLATTED LOTS / TRACTS
PLANNED DEVELOPMENT
'NATE'S SEAFOOD AND
STEAKHOUSE' RESTAURANT



TOWN OF ADDISON SITE PLAN NOTES:

1. ANY REVISIONS TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
2. OPEN STORAGE, WHERE PERMITTED SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
4. ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
5. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL

ADDISON GROVE
PRELIMINARY UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

AREA: 11.9147 AC.
519,005 SF.
DENSITY: 15 D.U./AC.
CONCEPTUAL
APARTMENT SITE
NOT INCLUDED

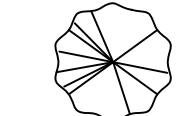
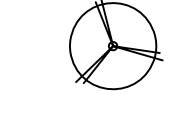






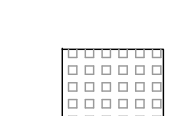
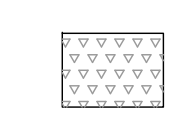
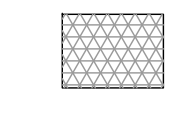





ACTION	
APPROVED	DENIED
STAFF _____	_____
DATE _____	INITIALS _____
COUNCIL _____	_____
DATE _____	INITIALS _____

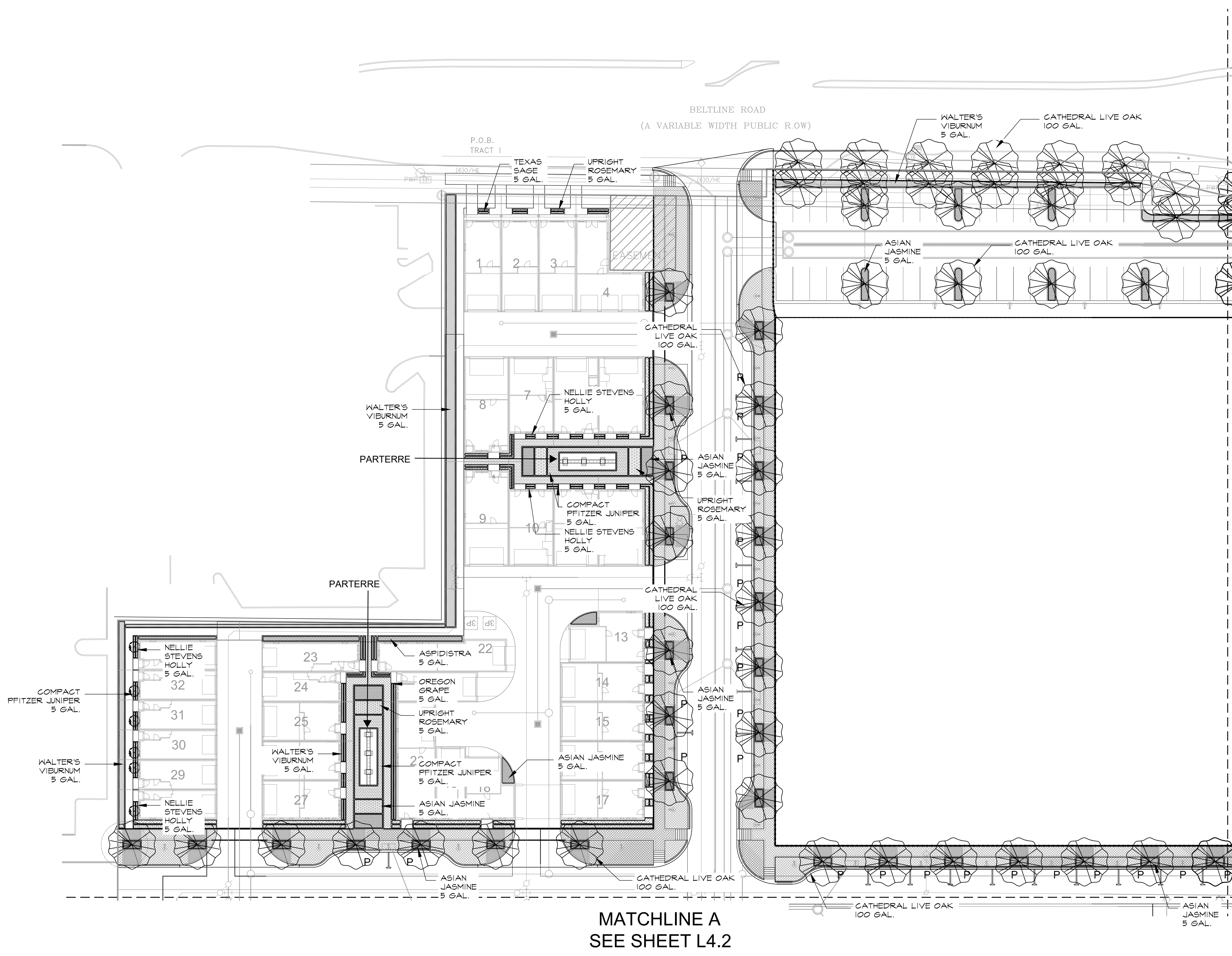
SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE APPROVAL OF THE PROJECT.

SITE PLAN	
ADDISON GROVE	
SAWYER	
ENGINEERING, LLC CIVIL ENGINEERING & PLANNING 1520 OLIVER STREET, HOUSTON, TEXAS 77007 (713) 961-3877 TBPE FIRM: F-9171	
SCALE: 1" = 60'	PROJ. NO.
DRAWN BY: JDS	DATE
CHK'D BY: CDP	SHEET
APPROVED: CDP	04/08/2016 1 OF 7

R:\AutoCAD\Projects\1821-Z\1821-Z.dwg Apr 08, 2016 8:12am

PLANT LEGEND

-  CATHEDRAL LIVE OAK
100 GAL.
-  'LITTLE GEM' MAGNOLIA
65 GAL.
-  'NATCHEZ' GRAPE MYRTLE
65 GAL.
-  YAUPON HOLLY
65 GAL.
-  NELLIE STEVENS HOLLY
65 GAL.
-  WALTER'S VIBURNUM
5 GAL.
-  NELLIE STEVENS HOLLY
5 GAL.
-  TEXAS SAGE
5 GAL.
-  UPRIGHT ROSEMARY
5 GAL.
-  OREGON GRAPE
5 GAL.
-  COMPACT PFITZER JUNIPER
5 GAL.
-  ASIAN JASMINE
5 GAL.
-  ASPIDISTRA
5 GAL.
-  TEXAS WISTERIA
5 GAL.
-  STAR JASMINE
5 GAL.
-  BERMUDA TIFWAY 419 SOD
SOLID SOD

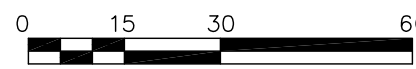


MATCHLINE B
SEE SHEET L4.1

MATCHLINE A
SEE SHEET L4.2


1 LANDSCAPE PLAN

SCALE: 1" = 30'-0"



EXISTING PARKING LOT TREE NOTES:

- ALL EXISTING PARKING LOT TREES UP TO 8" CALIPER SHALL BE RELOCATED WITHIN PROPOSED OPEN SPACE AREAS.

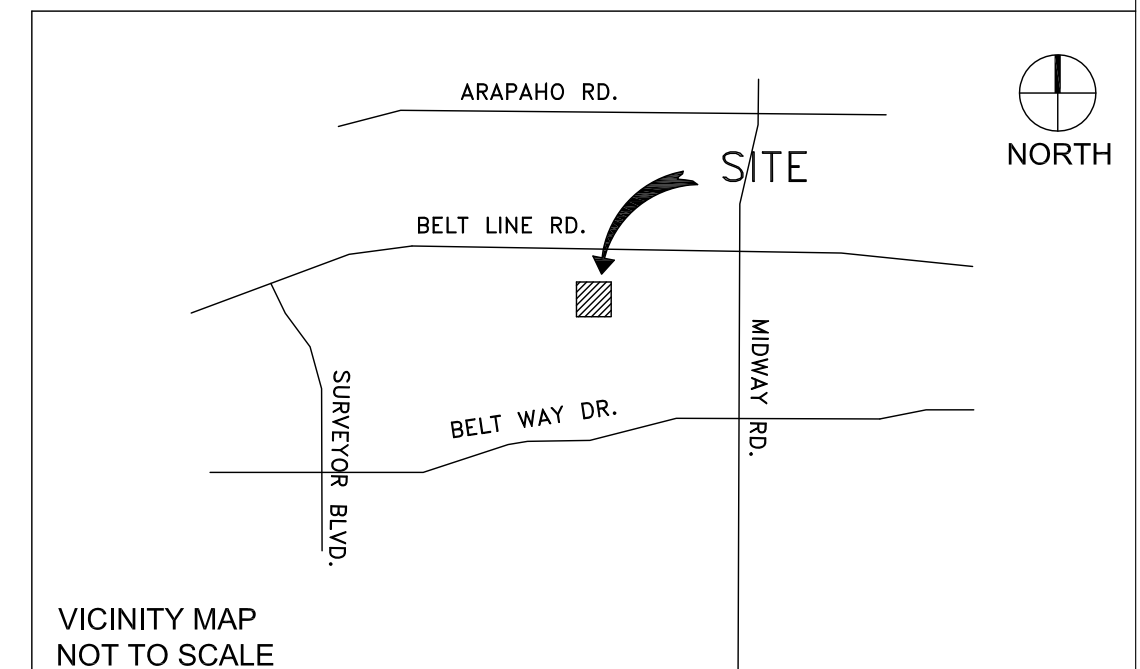


04-11-2016
Issued for PD Submittal
NOT FOR CONSTRUCTION

asakura robinson
Planning Urban Design Landscape Architecture
1902 Washington Ave., Suite A Houston, Texas 77007 P: 713.337.5830

PREPARED BY:
ASAKURA ROBINSON COMPANY
1902 WASHINGTON AVENUE, SUITE A
HOUSTON, TEXAS 77007

CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM

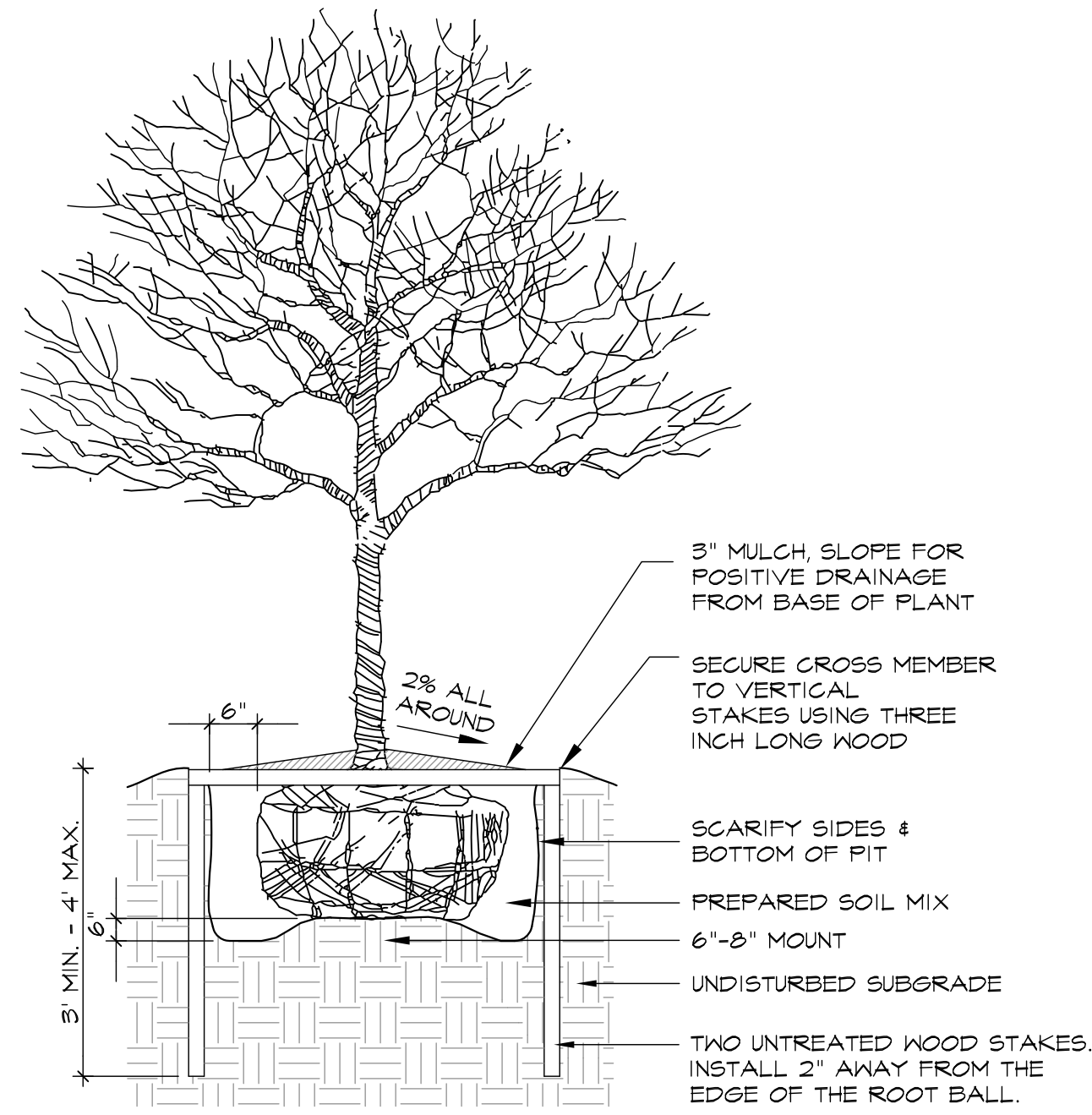


L4.0 LANDSCAPE PLAN

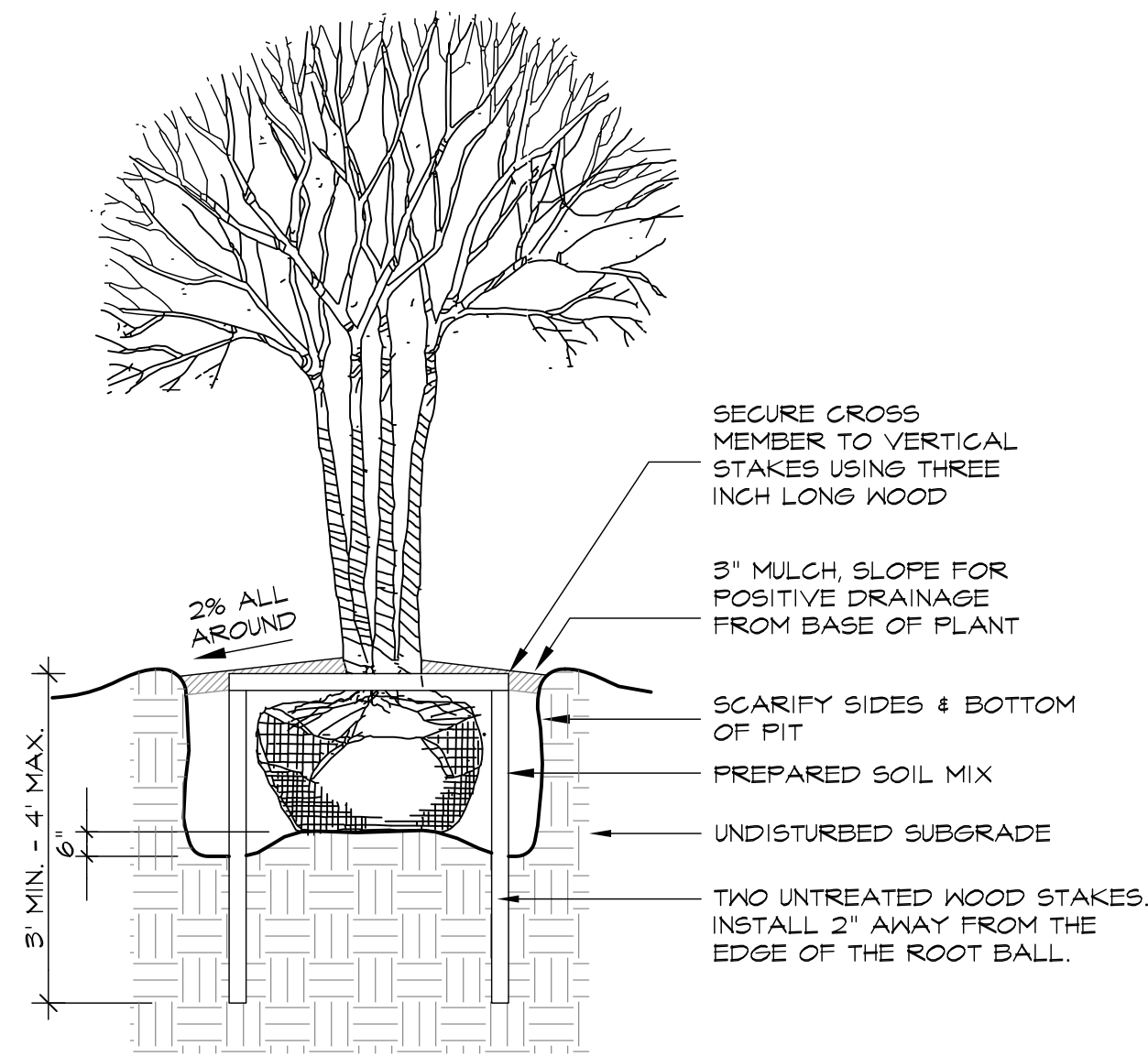
ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:

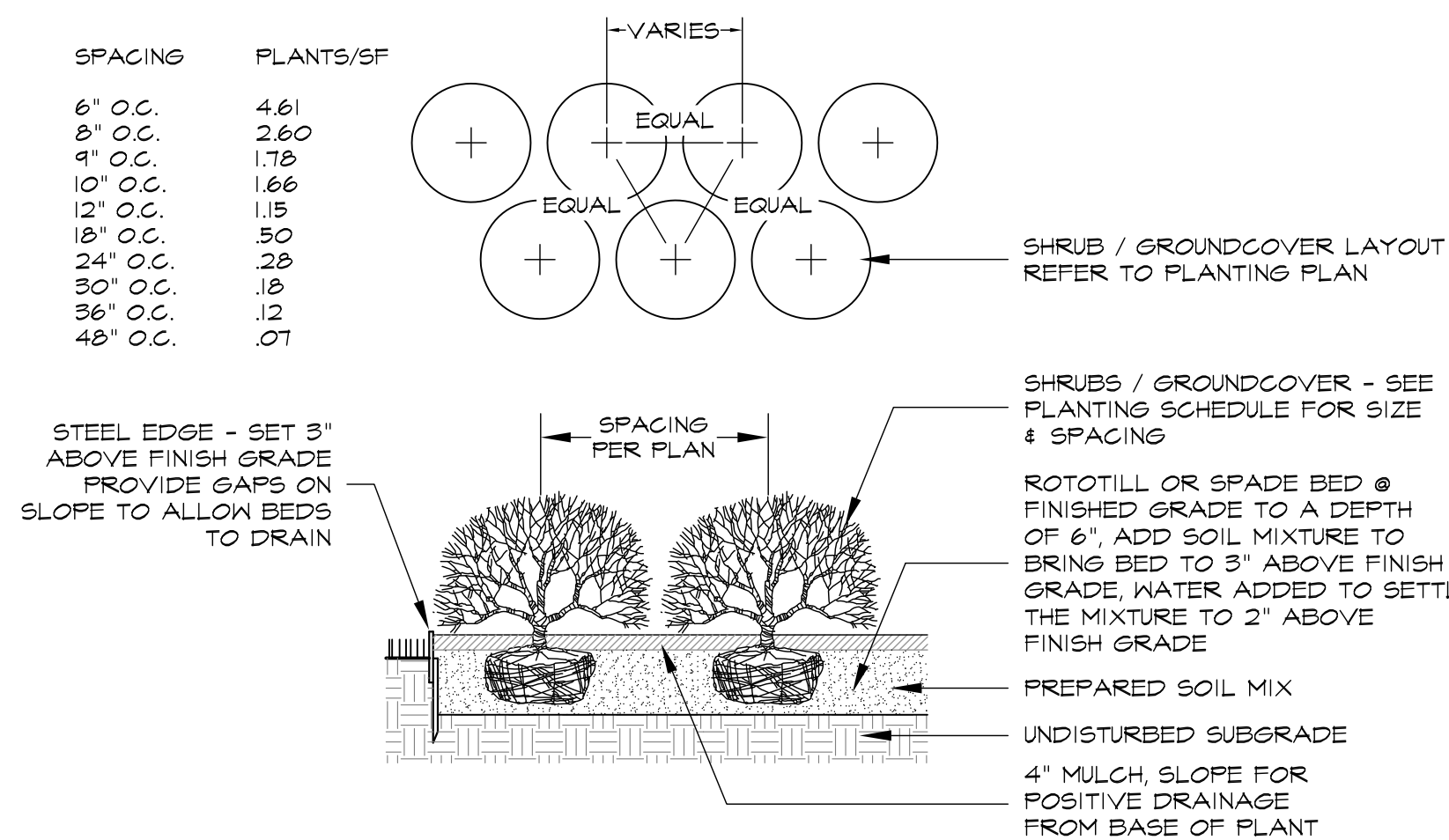
DATE PREPARED: APRIL 11, 2016



1 TYP. TREE PLANTING DETAIL N.T.S.



2 TYP. MULTI-TRUNKS TREE PLANTING DETAIL N.T.S.



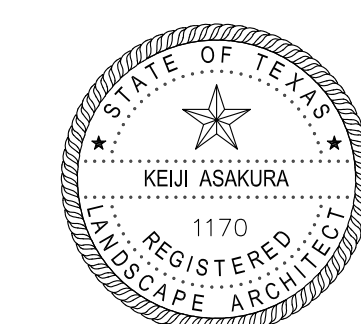
3 TYP. SHRUB / GROUND COVER PLANTING DETAIL & SPACING CHART N.T.S.

PLANT SCHEDULE

PLANT QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	HEIGHT	SPREAD	COMMENTS
CANOPY TREES / ORNAMENTAL TREES					
159	Cathedral Live Oak <i>Quercus Virginiana 'Cathedral'</i>	100 Gal. 4"-5"	14'-16"	8'-10"	CONTAINER GROWN, FULL & WELL BRANCHED
13	'Little Gem' Magnolia <i>Magnolia grandiflora 'Little Gem'</i>	100 Gal. 4"-5"	14'-16"	8'-10"	CONTAINER GROWN, FULL & WELL BRANCHED
42	Natchez Grape Myrtle <i>Lagerstroemia x Natchez'</i>	65 Gal. 3"-4"	10'-12"	5'-6"	CONTAINER GROWN, FULL & WELL BRANCHED
185	'Yaupon Holly <i>Ilex vomitoria</i>	65 Gal. 3"-4"	10'-12"	5'-6"	CONTAINER GROWN, FULL & WELL BRANCHED
75	Nellie Stevens Holly <i>Ilex x Nellie R. Stevens'</i>	65 Gal. 3"-4"	10'-12"	5'-6"	CONTAINER GROWN, FULL & WELL BRANCHED
SHRUBS / GROUND COVER					
6,600 sf	Walter's Virburnum <i>Myrica cerifera</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
5,300 sf	Nellie Stevens Holly <i>Podocarpus macrophyllus</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1,600 sf	Texas Sage <i>Leucophyllum frutescens</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
3,300 sf	Upright Rosemary <i>Rosmarinus officinalis</i>	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1,200 sf	Oregon Grape <i>Mahonia aquifolium</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
4,800 sf	Compact Pfitzer Juniper <i>Juniperus chinensis var. chinensis 'Compact Pfitzer'</i>	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
9,000 sf	Asian Jasmine <i>Trachelospermum asiaticum</i>	5 Gal.	10"-12"	12"-14"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 12" O.C. TRIANGULAR SPACING
3,900 sf	Aspidistra <i>Aspidistra elatior</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 24" O.C. TRIANGULAR SPACING
ORNAMENTAL VINES					
29	Texas Wisteria <i>Wisteria macrostachya</i>	1 Gal.	10"-12"	8"-10"	CONTAINER GROWN, FULL & WELL ROOTED 3 PLANTS PER CONTAINER / 36" O.C. ALONG WALL
29	Star Jasmine <i>Trachelospermum jasminoides</i>	1 Gal.	10"-12"	8"-10"	CONTAINER GROWN, FULL & WELL ROOTED 3 PLANTS PER CONTAINER / 36" O.C. ALONG WALL
TURF GRASS					
110,000 sf	Bermuda Tifway 419 <i>Cynodon dactylon Tifway 419'</i>				SOLID SOG

PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
- CONTRACTOR SHOULD NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT UP TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADE TO +0.10. CONTRACTOR SHALL OBTAIN LETTER OF GRADE CERTIFICATION FROM OWNER PRIOR TO PROJECT EXECUTION.
- CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 72 HOURS (WEEKENDS NOT INCLUDED) PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULE.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS ON PLANS OR LAYOUT OF PLANS, CONTRACTOR SHOULD CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIAL.
- PROTECT ALL EXISTING TREES TO REMAIN. CONTRACTOR SHALL REPLACE ANY TREES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE FENCING, IF NECESSARY, AT THE TREE DRIP LINE TO PROTECT TRUNK AND ROOTS AND TO PREVENT COMPACTION FROM VEHICLE TRAFFIC OR MATERIAL STORAGE ON THE SOIL BELOW TREES. CONTRACTOR SHALL PROVIDE FOR THE FEEDING, WATERING AND GENERAL MAINTENANCE OF TREES TO KEEP THEM IN A HEALTHY CONDITION DURING CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT PHOTOS OF REPRESENTATIVE TREES AND SHRUBS WITH SPECIFICATIONS ON THE BACK OF PHOTO INCLUDING HEIGHT, WIDTH AND CALIPER. IF A NURSERY VISIT IS REQUIRED THE CONTRACTOR WILL ARRANGE TO HAVE THE PARTICULAR NURSERIES PREPARED TO SHOW TREES. SHOULD CONTRACTOR INSTALL PLANT MATERIAL INFERIOR TO INDUSTRY STANDARD, IT IS AT HIS OWN RISK. ALL PHOTO SUBMITTALS ARE TO BE APPROVED PRIOR TO PLANTING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIALS FREE OF PESTS AND DISEASES. PRE-SELECTED OR 'TAGGED' MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO GUARANTEE ALL PLANT MATERIALS PER THE SPECIFICATIONS.
- CONTRACTOR SHALL STAKE ALL FINAL TREE LOCATIONS AND PLANTING BED LIMITS IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- STEEL EDGING SHALL BE PLACED BETWEEN ALL SHRUB BEDS AND TURF AREAS, AS WELL AS BETWEEN GRAVEL BED AND PLANTING BEDS.
- UPON INSTALLATION ALL TREE MATERIALS SHALL BE STAKED ACCORDING TO SPECIFICATIONS AND PLANTING DETAILS.
- IF REQUESTED BY OWNER CONTRACTOR SHALL INSTALL DEEP/ROOT BARRIERS AT ALL TREES WITHIN 5'-0" OF CONCRETE WALKWAYS, STRUCTURES, WALLS, CURBS, ETC.
- ALL PLANTS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED.
- ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" OF APPROVED SHREDDED MULCH.
- CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS TO PROVIDE FOR PROPER DRAINAGE.
- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)/AMERICAN ASSOCIATION OF NURSERYMEN (AAN): ANSI Z60.1 I-069 'NURSERY STOCK'.
- 'GRADES AND STANDARDS', LATEST EDITION OF TEXAS ASSOCIATION OF NURSERYMEN SPECIFICATIONS, AUSTIN, TEXAS 78704.
- PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK AND PROVIDE FOR ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE, AND LOCAL AUTHORITIES IN FURNISHING, TRANSPORTING, AND INSTALLING MATERIALS.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1. PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT.
- PLANTING SOIL QUALITY ASSURANCE:
 - IF REQUESTED BY OWNER, ALL SOIL COMPONENTS SHALL BE TESTED BY LOCAL OR STATE TESTING LABORATORY FOR CONFORMITY TO THE SPECIFICATIONS.
 - CONTRACTOR SHALL SUBMIT PROPOSED LABORATORY NAME, ADDRESS, AND TELEPHONE NUMBERS FOR APPROVAL.



04-11-2016
Issued for PD Submittal
NOT FOR CONSTRUCTION



PREPARED BY:
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HOUSTON, TEXAS 77007
CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM

L4.4 LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:

DATE PREPARED: APRIL 11, 2016

Surround Style Planting with Deeproot Universal Barriers

When selecting the Surround style planting application you will have the greatest success by following these simple steps as illustrated below.

A. Prepare the initial planting hole as illustrated below. This is based upon the combination of desired barrier diameter and depth. Consider if drainage devices or amendments are needed to correct any adverse soil or planting conditions in the backfill area.

F. If staking or guying is required we recommend using the soft, safe and economical alternative to traditional wire and hose, ArborTie (see www.deepproof.com for details).

B. Assemble the appropriate number of DeepRoot Universal Barrier panels. The vertical root deflecting ribs on the panel must face inward, toward the root ball. (This is very important, otherwise the roots will become girdled by traveling around the smooth walled surface)

G. If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborCare's Tree Trunk Protectors which are placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents. (See www.deepproof.com)

C. Next place the barrier in the center of the planting hole, keeping in mind that the double top edge of the barrier should be positioned approximately 1/2" (13mm) above grade. This helps retard potential root overgrowth. Failing to position the top edge above grade can allow root overgrowth which can lead to uprooted hardscapes.

H. Water and follow proper tree maintenance practices. Trees do require care and nurturing after planting. Consult with your local supplier for proper care procedures for the species you are planting. The planting instructions given here are by no means a comprehensive guide. Rather they are general guidelines to planting with DeepRoot Barriers and a survey of current planting methods. Conditions will vary however and it is recommended that an Arborist be consulted before planting.

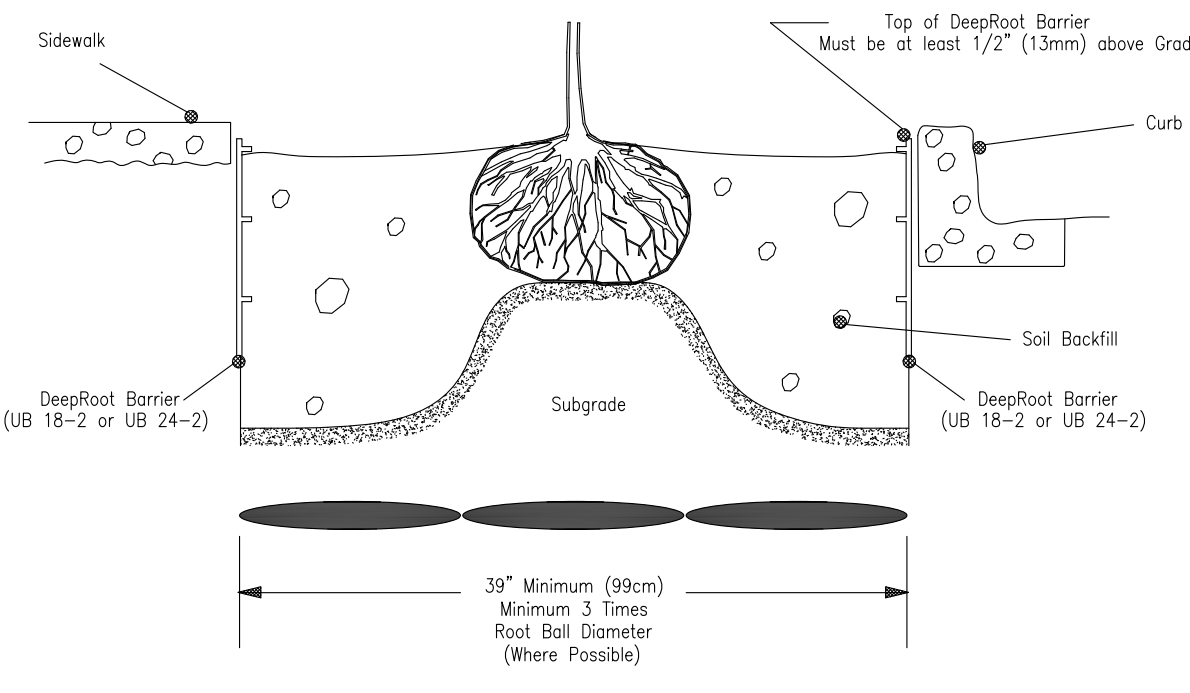
D. Backfill and compact with soil inside the barrier to the level where the bottom of the root ball will be when positioned correctly with the crown of the root ball approximately 1" (26mm) above grade.

I. For additional information please visit our website at www.deepproof.com

E. Remove the tree from its container, or cut away the top portion of burlap and position in the center of the barrier. Complete the backfill of the soil. Distribute evenly to maintain the shape of the barrier and compact the backfill every 4"-6" (10cm-15cm). Roots will die quickly if left exposed to the elements so keep exposure of the roots to a minimum.

J. For information regarding distributors please call: 1 800 ILV ROOT (458.7668). For help with drainage or other difficult installation questions please call DeepRoot Technical Support at: 1 800 ROOT TEK (766.8835).

A Typical Surround Planting Installation Using DeepRoot Universal Barrier



1 TYP. ROOT BARRIER DETAIL @ SIDEWALK

N.T.S.

**UB 24-2 Specifications
24" DeepRoot® Tree Root Barrier**

Specified tree root barrier is a mechanical barrier and root deflector used to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

A. Materials

1. The contractor shall furnish and install tree root barrier as specified. The tree root barrier shall be either product #UB 24-2 as manufactured by DeepRoot® Green Infrastructure, LLC, 530 Washington Street, San Francisco, CA, www.deepproof.com (800.458.7668).

2. Root barrier shall be recyclable, black, injection molded panels with 0.80" (2.03 mm) wall thickness in modules 24" (609 mm) long and 24" (609 mm) deep.

3. Root barrier shall be manufactured with 75% reprocessed polypropylene with added ultraviolet inhibitors.

4. Root barrier shall be comprised of 24" (60.96 cm) panels. Each panel shall have no less than four (4) Molded Integral Vertical Root Directing Ribs of a minimum 0.075" (1.90 mm) thickness, protruding 1/2" (12.7 mm) at 90° from interior of the barrier panel, spaced 6" (152.4 mm) apart. (See Details A & D)

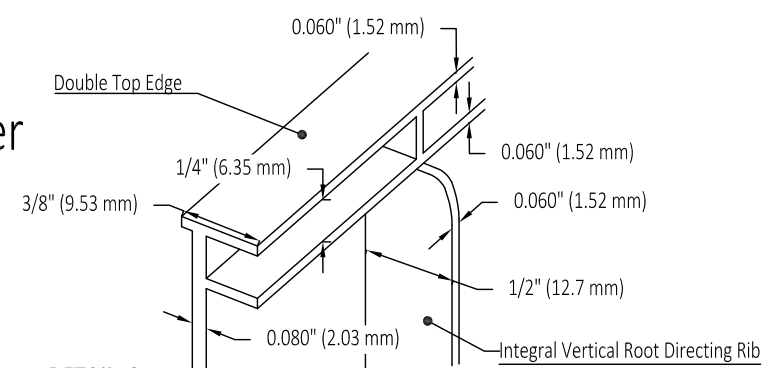
5. Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.060" (1.52 mm) thickness, 3/8" (9.53 mm) wide and 1/4" (6.35 mm) apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).

6. Root barrier shall have a minimum of twelve (12) Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.075" (1.90 mm) thickness in the shape of a segment of an oblong, the 2" (50.8 mm) chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The twelve ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (Four (4) between each set of ribs, see Details B & D).

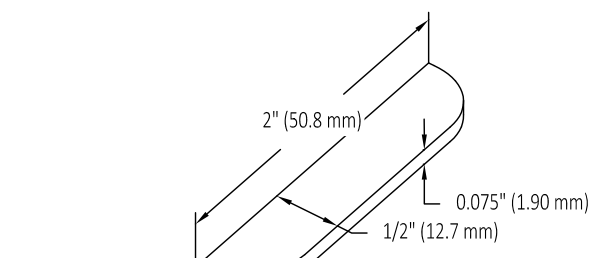
7. Root barrier shall have an integrated Zipper Joining System for assembly by sliding one panel into another (See Detail C).

U.S. Patents: 5,305,549; and 5,528,857. Other Patents Pending.

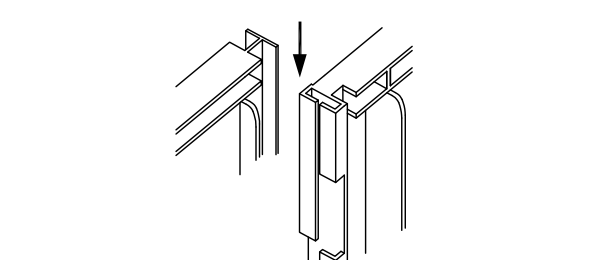
Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,846 PSI	D638
Yield Elongation - Wall	7.44%	D638
Yield Elongation - Hinge	7.01%	D638
Flexural Modulus	119,625 PSI	D790B
Notched Izod Impact - Wall	3.84 (ft-lbs)	D256A
Rockwell Hardness r. scale - Wall	84.4	D785A



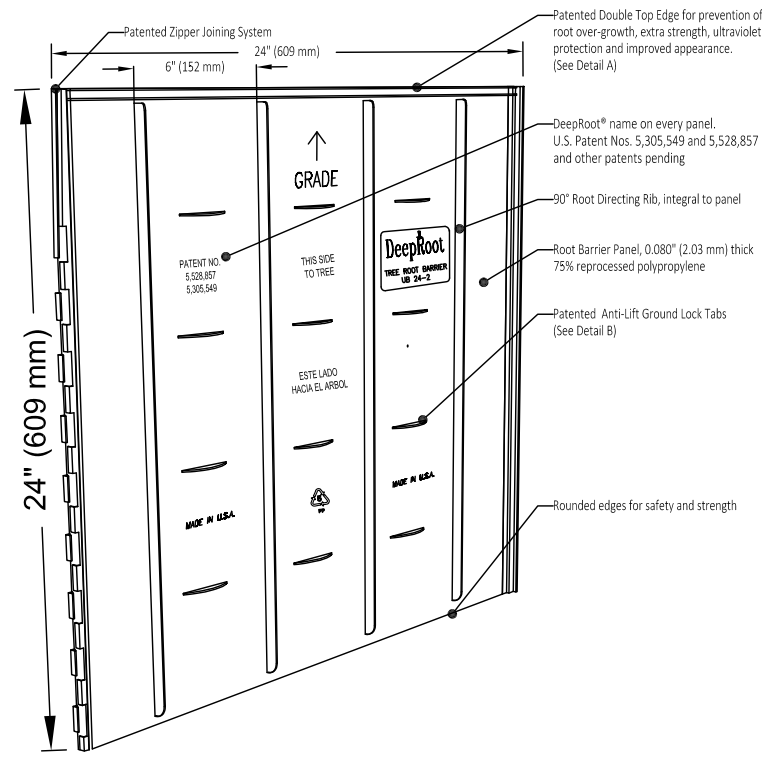
DETAIL A - DOUBLE TOP EDGE AND VERTICAL ROOT DIRECTING RIB



DETAIL B - ANTI-LIFT GROUND LOCK TAB



DETAIL C - ZIPPER JOINING SYSTEM

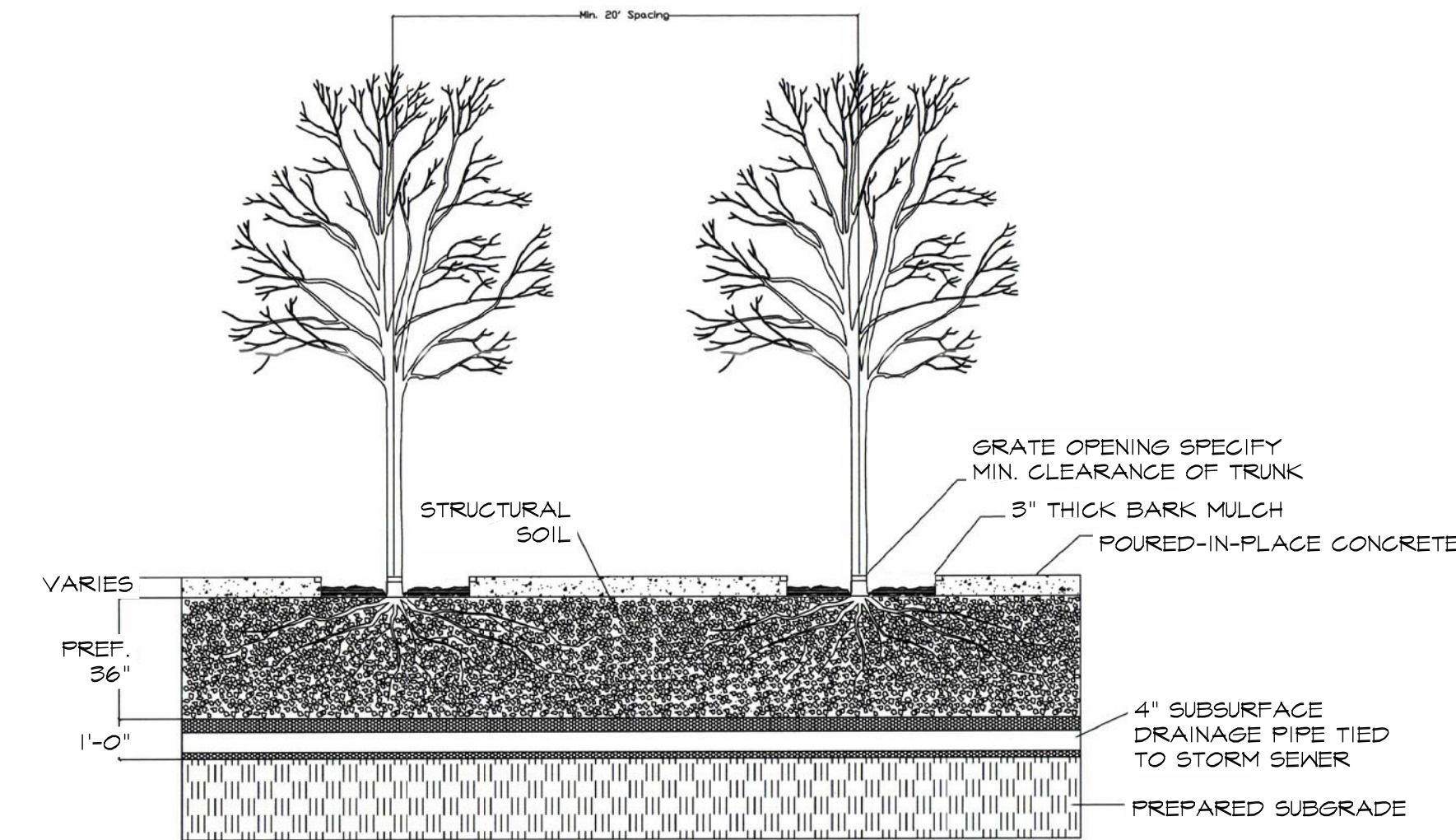


DETAIL D - TREE ROOT BARRIER PANEL

NOTE: CONTRACTOR TO INSTALL DEEPROOF TREE ROOT BARRIER AT ALL SIDES OF EXISTING TREE ROOT. VERIFY WITH DEEPROOF REP FOR EXACT REQUIREMENTS AND SPECIFICATIONS PRIOR TO INSTALLATION.

2 TYP. ROOT BARRIER DETAIL @ SIDEWALK

N.T.S.

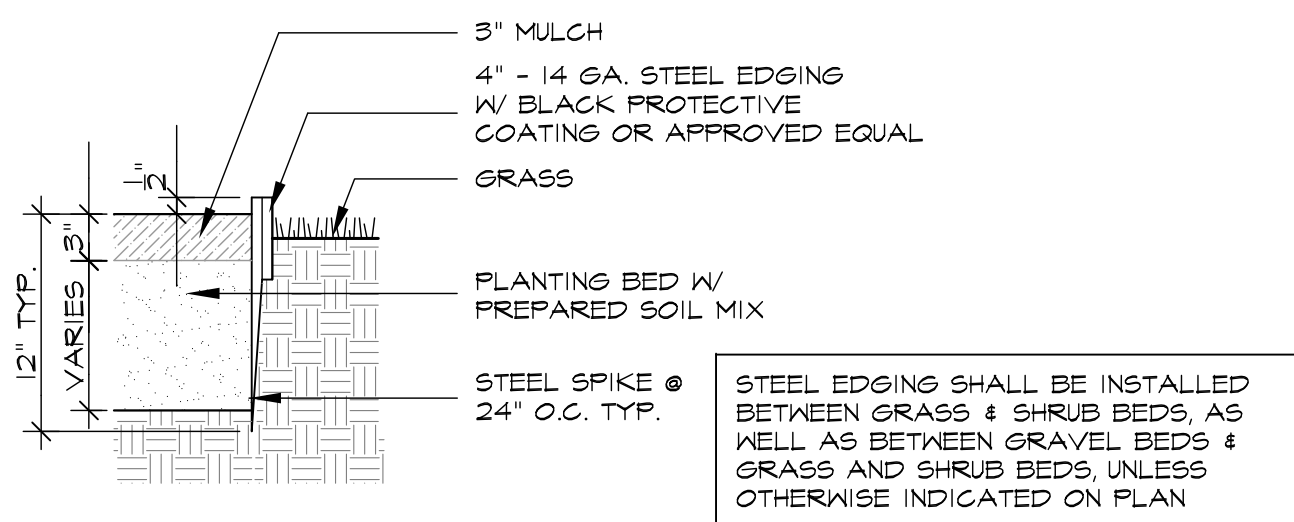


TYPICAL STREET TREE PLANTING - VIEW 2

- NOTES:**
1. STRUCTURAL SOIL SHALL BE INSTALLED BETWEEN ALL TREE WELLS TO CREATE A CONTINUOUS 5' WIDE SOIL TRENCH.
 2. CONTRACTOR TO USE CU-SOIL STRUCTURAL SOIL OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 3. SOIL MIXTURE SHALL BE COORDINATED WITH THE MANUFACTURER AND APPROVED BY THE CITY.

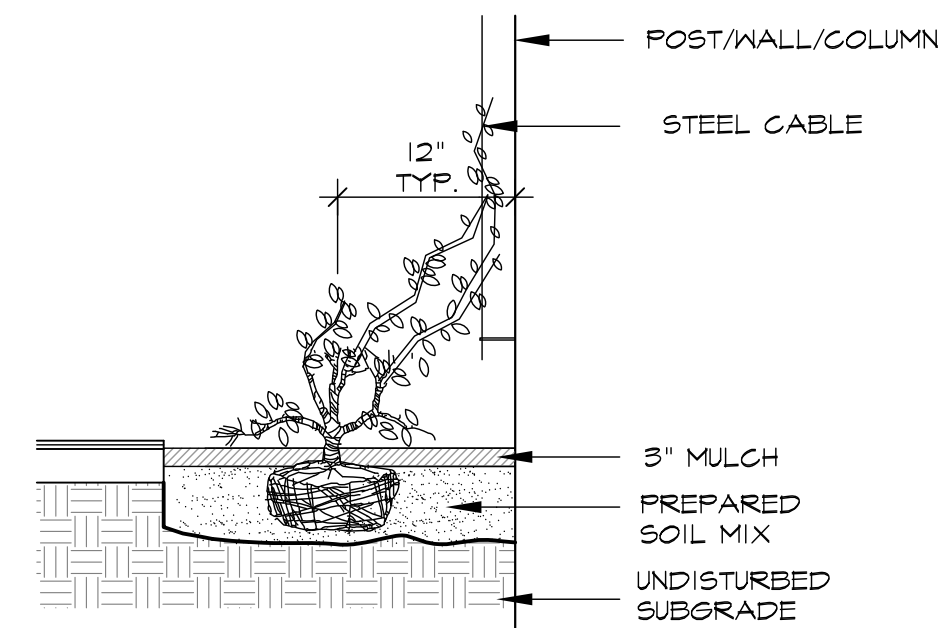
3 TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

N.T.S.



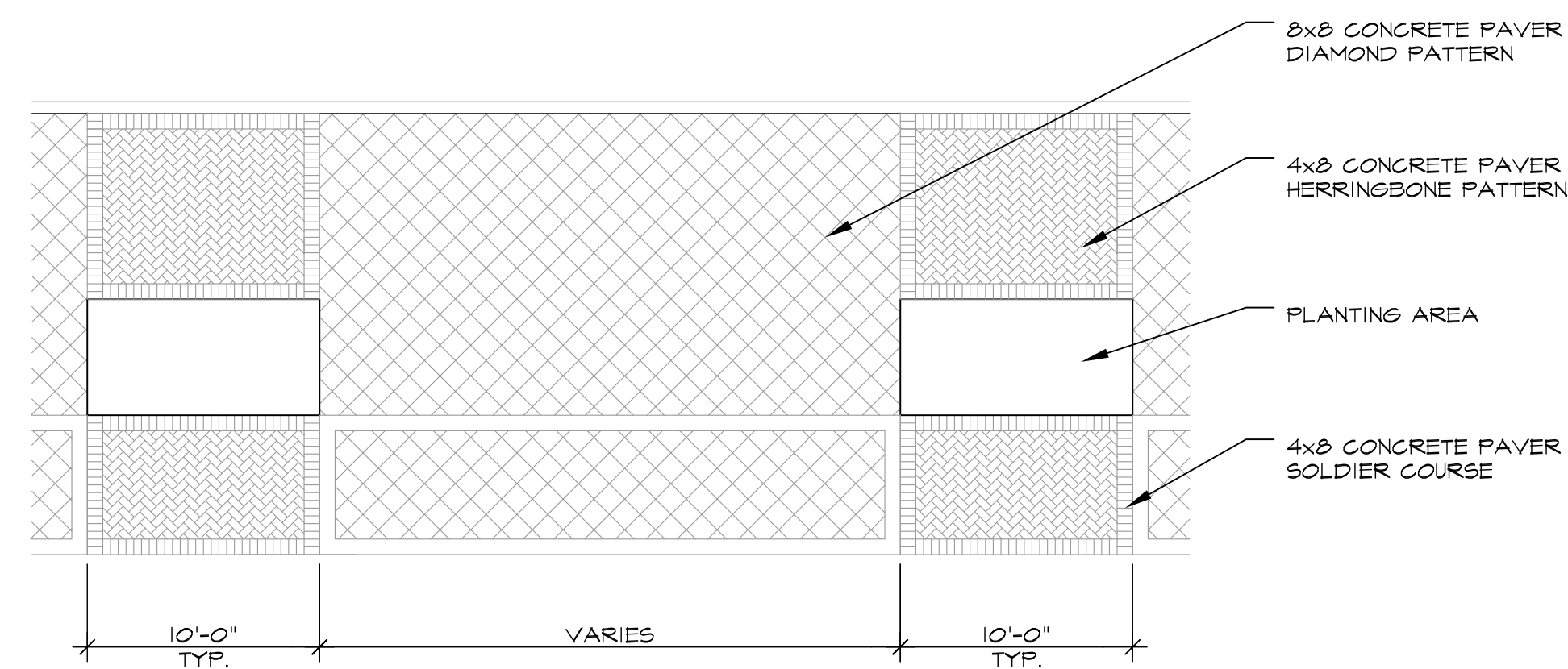
4 TYP. STEEL EDGING DETAIL

N.T.S.



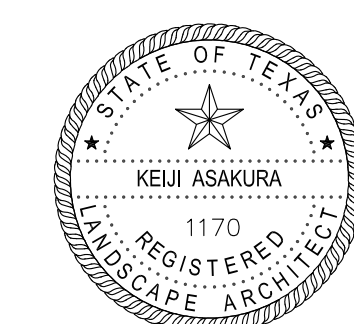
5 TYP. VINE PLANTING DETAIL

N.T.S.



6 TYPICAL PAVING DETAIL

N.T.S.



04-11-2016
Issued for PD Submittal
NOT FOR CONSTRUCTION

asakura robinson
Planning Urban Design Landscape Architecture

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PREPARED BY:

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


L4.5 LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:

DATE PREPARED: APRIL 11, 2016

LEGEND

-  BRICK
-  FIBER CEMENT SIDING
-  STUCCO

ADDITIONAL BUILDING MATERIALS

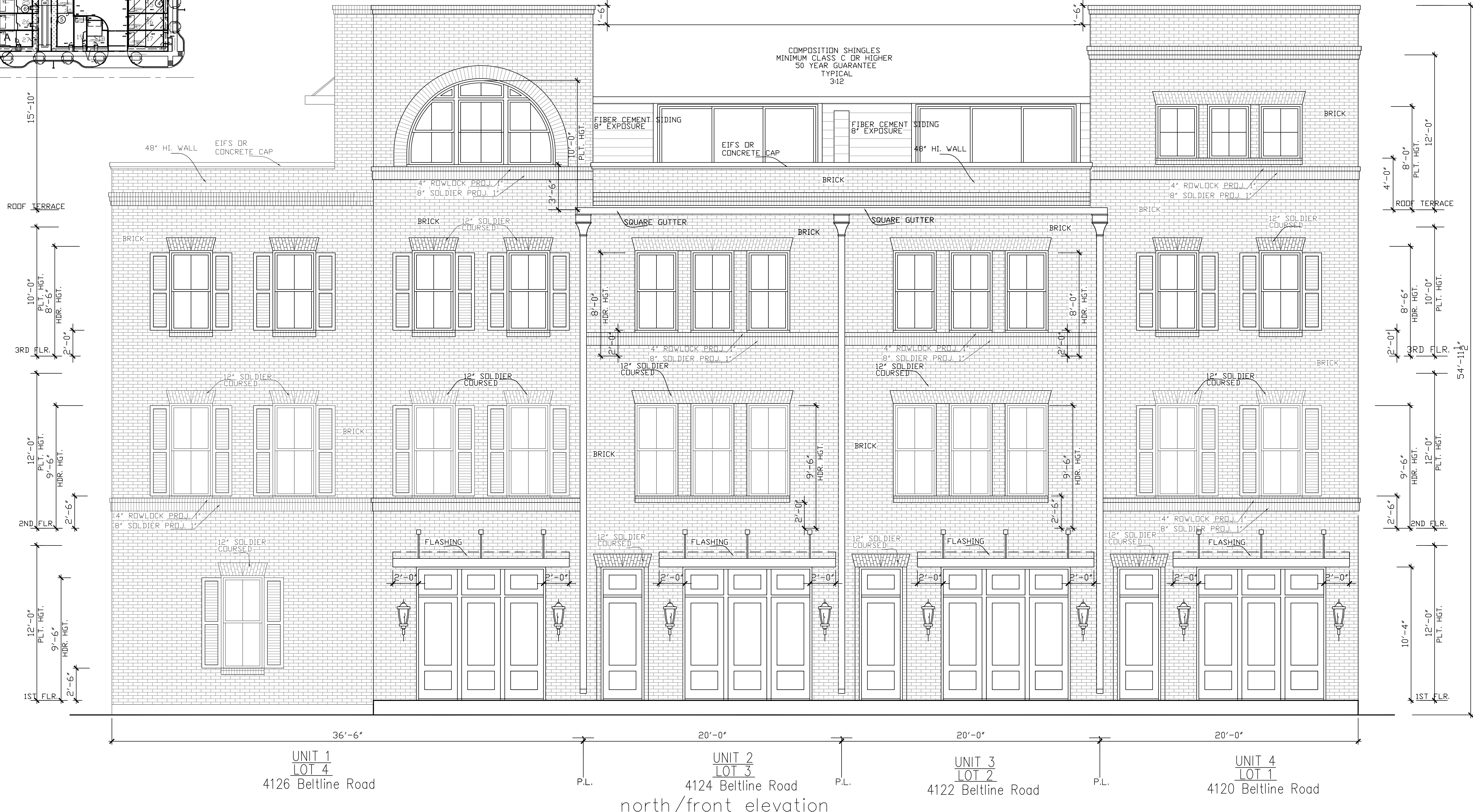
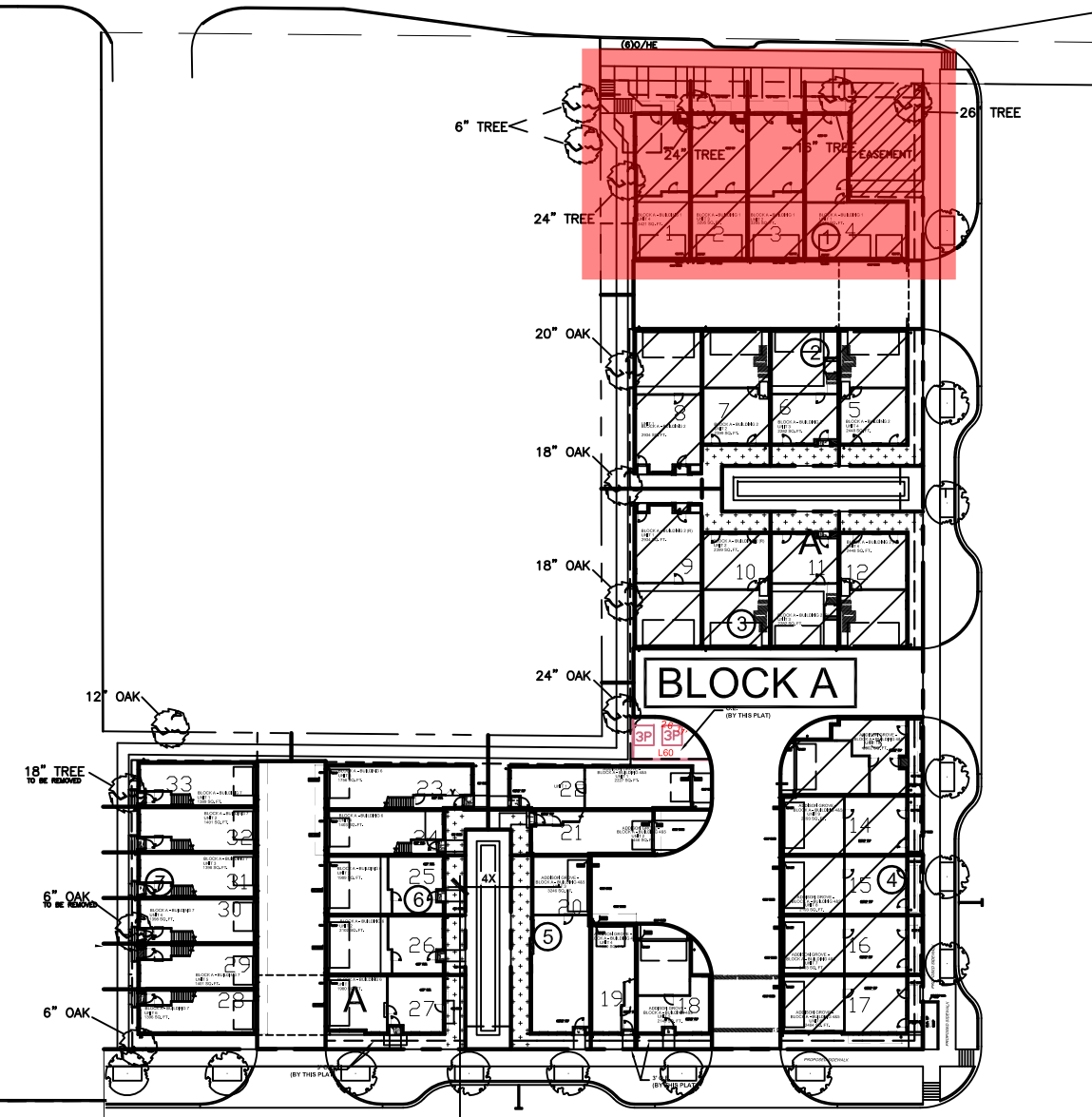
- UNIT 1 BRICK PEDIMENT AT ENTRY
STANDING SEAM METAL ROOF
METAL CLAD WOOD WINDOWS
8" STEEL BEAM LINTELS TYP.
CAST STONE CDL.
FIXED SHUTTER
8"x12"x12" WOOD BRACKETS
12" STEEL BEAM
EIFS OR CONCRETE CAP
- UNIT 2&3 BRICK PEDIMENT AT ENTRY
STANDING SEAM METAL ROOF
METAL CLAD WOOD WINDOWS
8" STEEL BEAM LINTELS TYP.
CAST STONE CDL.
12" STEEL BEAM
EIFS OR CONCRETE CAP
- UNIT 4 BRICK PEDIMENT AT ENTRY
STANDING SEAM METAL ROOF
METAL CLAD WOOD WINDOWS
8" STEEL BEAM LINTELS TYP.
CAST STONE CDL.
8"x12"x12" WOOD BRACKETS
12" STEEL BEAM
EIFS OR CONCRETE CAP

NORTH/FRONT

MATERIAL CALCULATION TABLE		
SIDING	66	2.02%
BRICK	3199	97.98%
GLAZING	1432	30.5%
TOTAL SURFACE AREA	4697	

FACADE PLAN NOTES

- * THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- * ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE
- * WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
- * ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
- * ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL



Drawn By/Checked By: C.L./F.M.
Original Date: 02/01/2016
Scale: 1/4" = 1'-0"
Last Updated: 02/26/2021

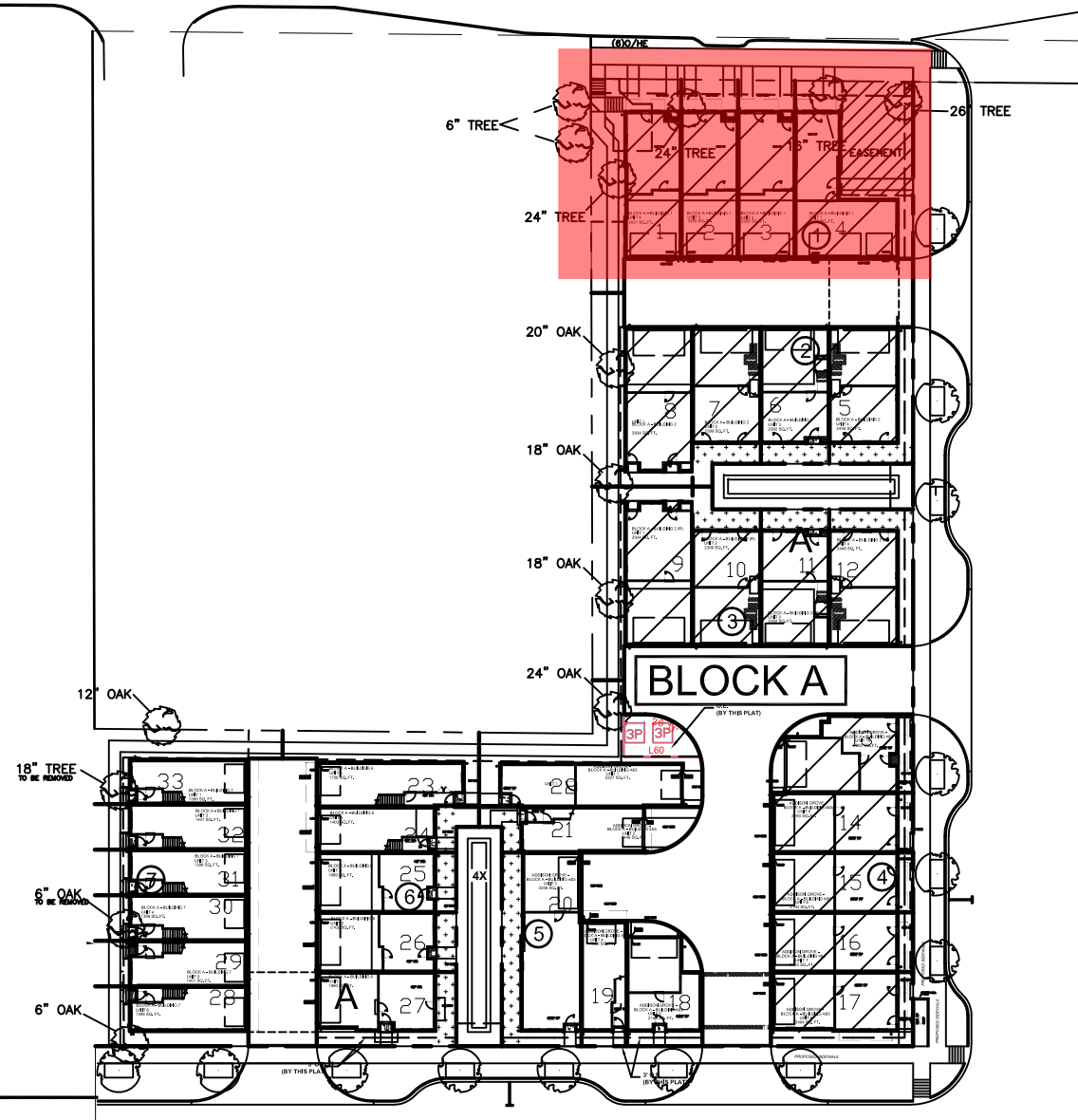
URBAN INTOWN HOMES, L.td.
1520 OLIVER STREET, HOUSTON, TX 77007
(713)880-4811 TEL (713)426-4410 FAX

ADDISON GROVE-BLOCK A-BUILDING 1
NORTH/FRONT ELEVATION

PLAN NO.
UNIT 1 3779
UNIT 2 3295
UNIT 3 3295
UNIT 4 3421

SHEET NO.
A-3.1

URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



LEGEND

- BRICK
- FIBER CEMENT SIDING
- STUCCO

ADDITIONAL BUILDING MATERIALS

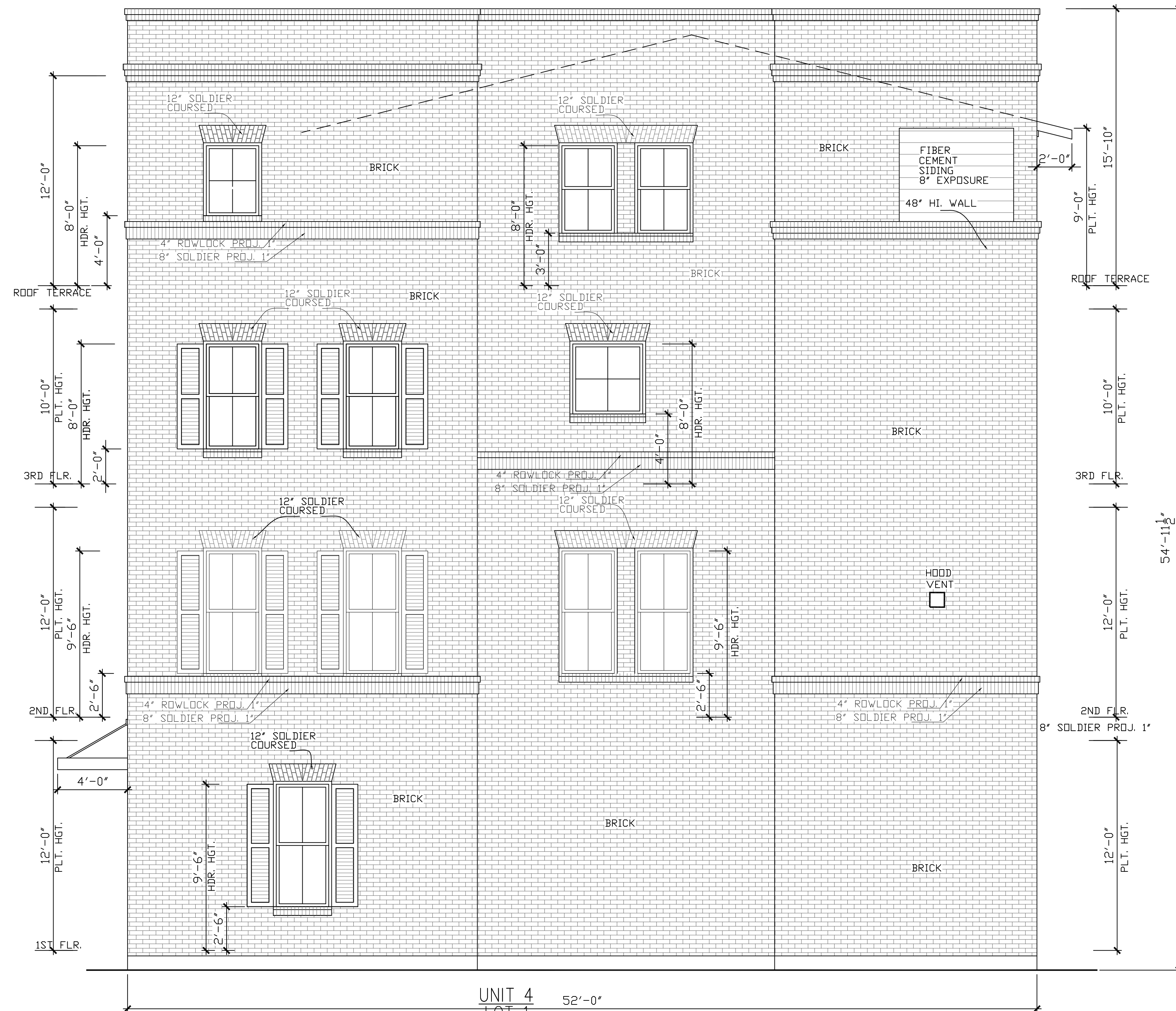
- STANDING SEAM METAL ROOF
- METAL CLAD WOOD WINDOWS
- 8" STEEL BEAM LINTELS TYP.
- CAST STONE C.D.L.
- 12" STEEL BEAM
- EIFS OR CONCRETE CAP

WEST/RIGHT

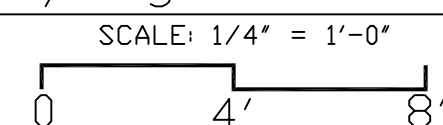
MATERIAL CALCULATION TABLE		
SIDING	35	1.36%
BRICK	2544	98.64%
GLAZING	236	8.38%
TOTAL SURFACE AREA	2815	

FACADE PLAN NOTES

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UNIT 4 52'-0"
LOT 1
4120 Beltline Road
west/right elevation



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 Original Date Issued: 02/01/2016
 Scale: 1/4" = 1'-0"
 Last Updated: 02/26/2021

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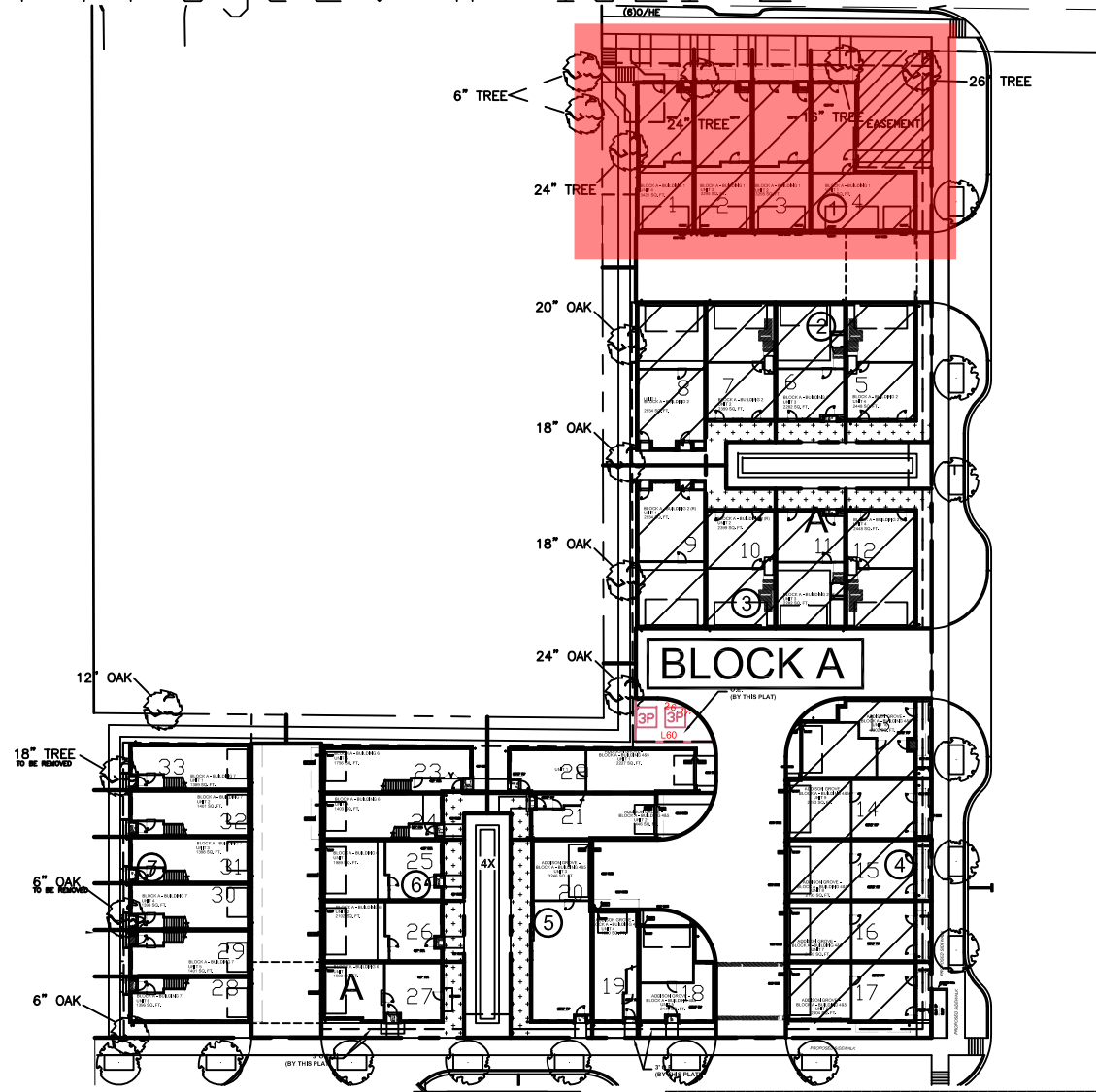
ADDISON GROVE-BLOCK A-BUILDING 1
 WEST / RIGHT ELEVATION

PLAN NO.

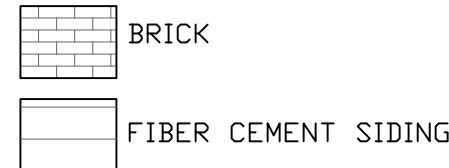
UNIT 1	3779
UNIT 2	3295
UNIT 3	3295
UNIT 4	3421

SHEET NO.
A-3.2

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877



LEGEND



ADDITIONAL BUILDING MATERIALS

UNIT 1 & 4 STANDING SEAM METAL ROOF
METAL CLAD WOOD WINDOWS
8" STEEL BEAM LINTELS TYP.
EIFS OR CONCRETE CAP

UNIT 2&3 STANDING SEAM METAL ROOF
METAL CLAD WOOD WINDOWS
8" STEEL BEAM LINTELS TYP.
42" HI. METAL RAILING

SOUTH/REAR

MATERIAL CALCULATION TABLE		
SIDING	128	3.68%
BRICK	3348	96.32%
GLAZING	645	15.65%
TOTAL SURFACE AREA	4121	

FACADE PLAN NOTES

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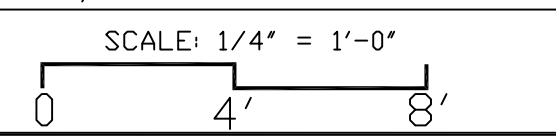
Drawn By/Checked By: C.L./F.M.
Original Date Issued: 02/01/2016
Scale: 1/4" = 1'-0"
Last Updated: 02/26/2021

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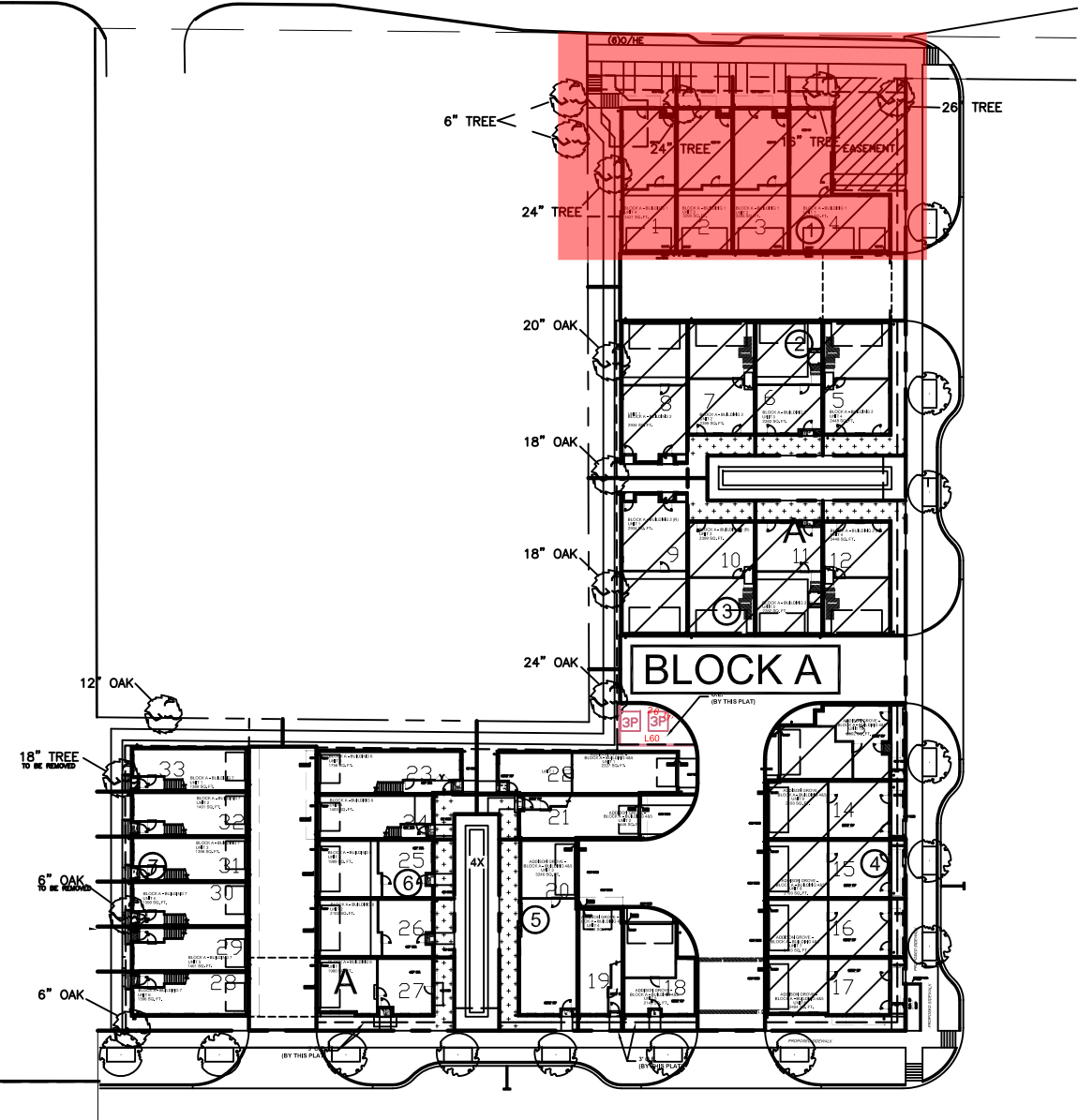
ADDISON GROVE-BLOCK A-BUILDING 1
SOUTH / REAR ELEVATIONS

PLAN NO.	
UNIT 1	3779
UNIT 2	3295
UNIT 3	3295
UNIT 4	3421

SHEET NO. **A3.3**



URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



LEGEND

- BRICK
- FIBER CEMENT SIDING
- STUCCO

ADDITIONAL BUILDING MATERIALS

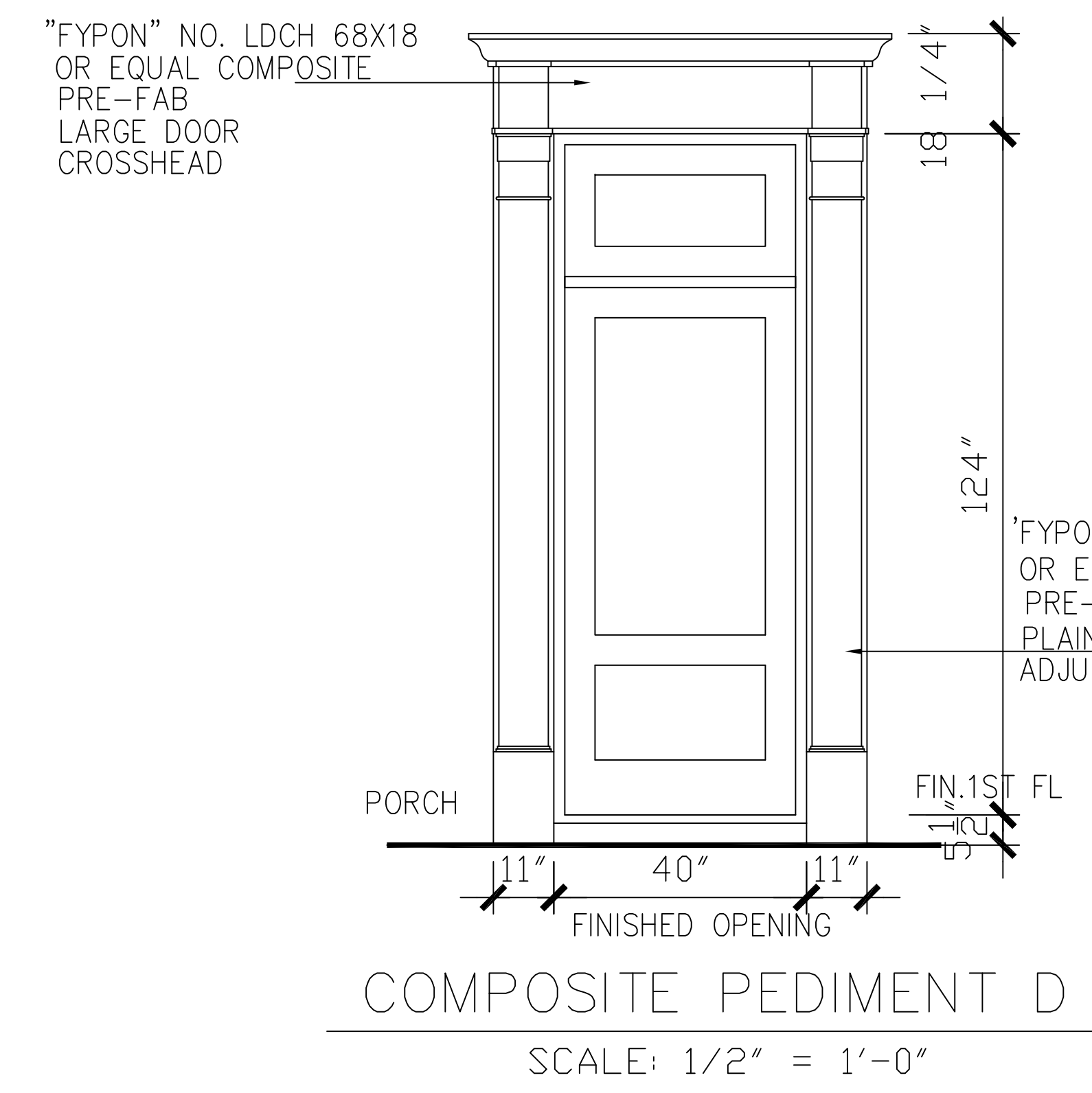
- STANDING SEAM METAL ROOF
- METAL CLAD WOOD WINDOWS
- 8" STEEL BEAM LINTELS TYP.
- CAST STONE COL.
- FIXED SHUTTER
- 12" STEEL BEAM
- METAL CANDOPY
- EIFS OR CONCRETE CAP

EAST/LEFT

MATERIAL CALCULATION TABLE		
BRICK	2193	100%
GLAZING	622	22.10%
TOTAL SURFACE AREA	2815	

FACADE PLAN NOTES

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UNIT 1
LOT 4
4126 Beltline Road

52'-0"

east/left elevation

SCALE: 1/4" = 1'-0"

0 4 8'

Drawn By/Checked By: C.L./F.M.
Original Date Issued: 02/01/2016
Scale: 1/4" = 1'-0"
Last Updated: 02/26/2021

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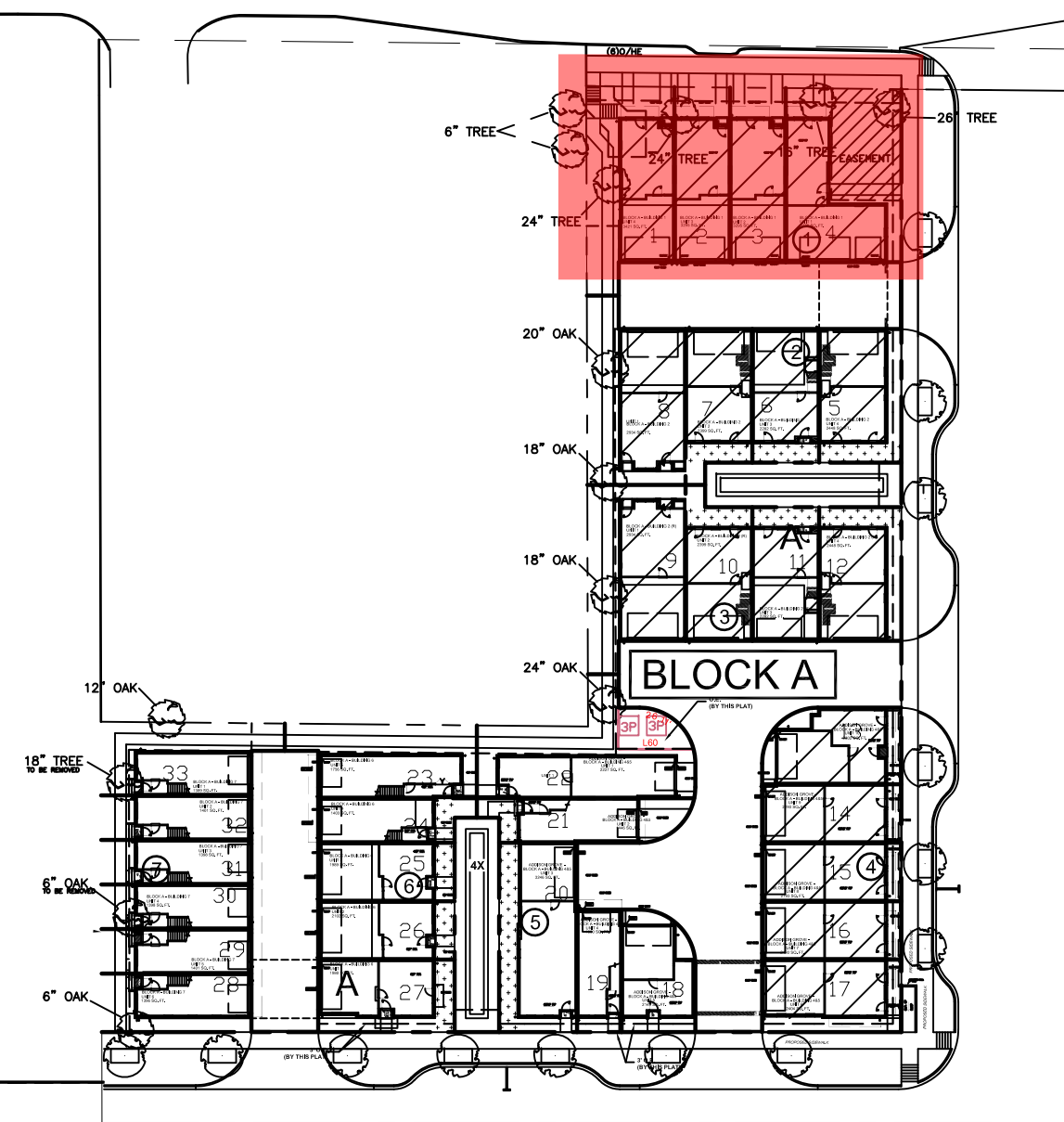
ADDISON GROVE-BLOCK A-BUILDING 1
ADDISON GROVE
EAST / LEFT ELEVATION

PLAN NO.

UNIT 1	3279
UNIT 2	3295
UNIT 3	3295
UNIT 4	3421

SHEET NO.
A-3.4

URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



unit 1 square footage

FIRST FLOOR	509
SECOND FLOOR	1848
THIRD FLOOR	1242
ROOF TERRACE	786
TOTAL LIVING AREA	3779
GARAGE	757
PORCH	0
ROOF DECK	365
TOTAL SLAB AREA	1267

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDING DRAWINGS IN GENERAL, COMPLIANCE WITH ANSI Z763-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit 2&3 square footage

FIRST FLOOR	563
SECOND FLOOR	1940
THIRD FLOOR	1040
ROOF TERRACE	632
TOTAL LIVING AREA	3295
GARAGE	482
PORCH	12
AC DECK	71
ROOF DECK	259
TOTAL SLAB AREA	1040

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDING DRAWINGS IN GENERAL, COMPLIANCE WITH ANSI Z763-2003 ACTUAL SQUARE FOOTAGE MAY VARY

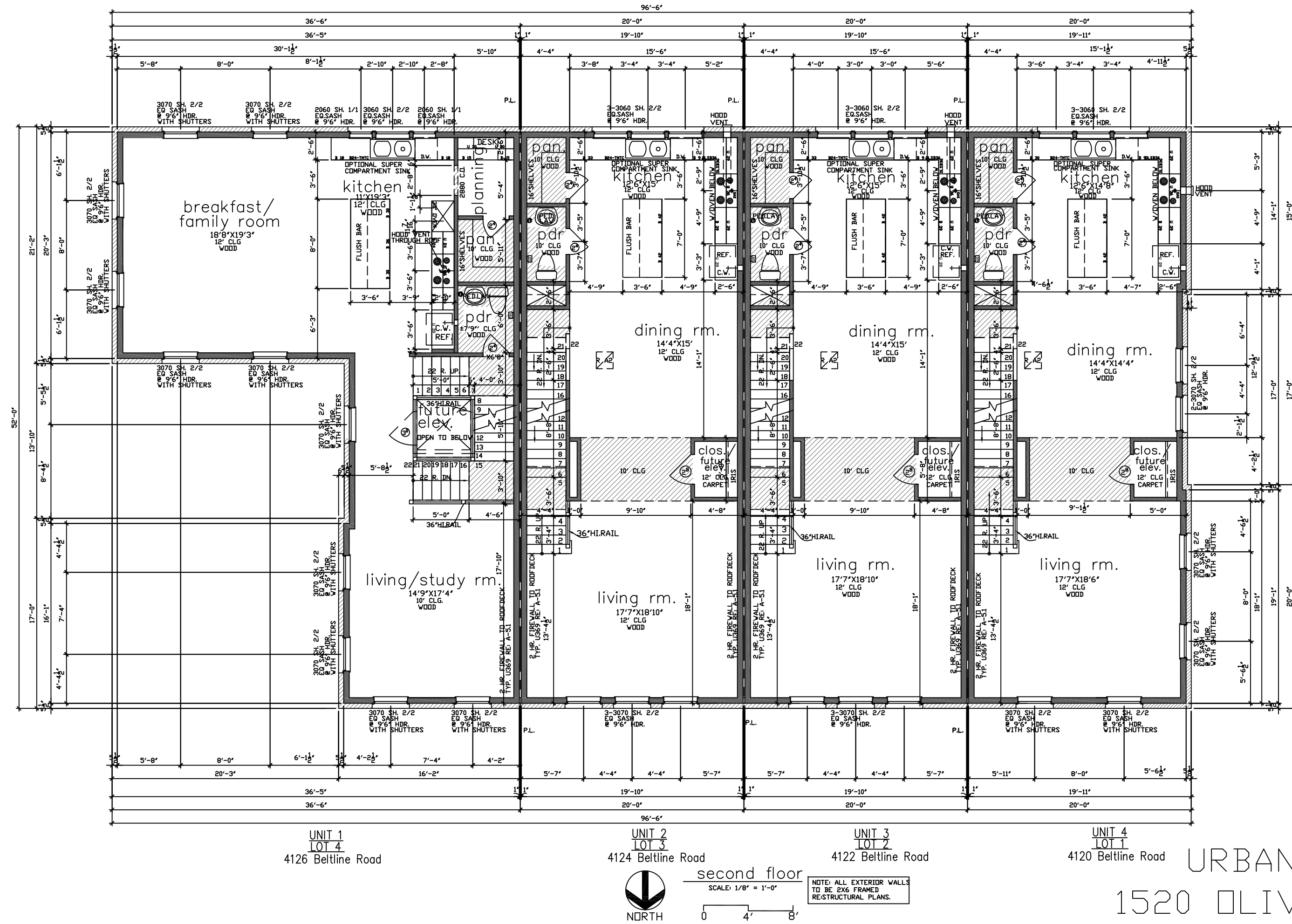
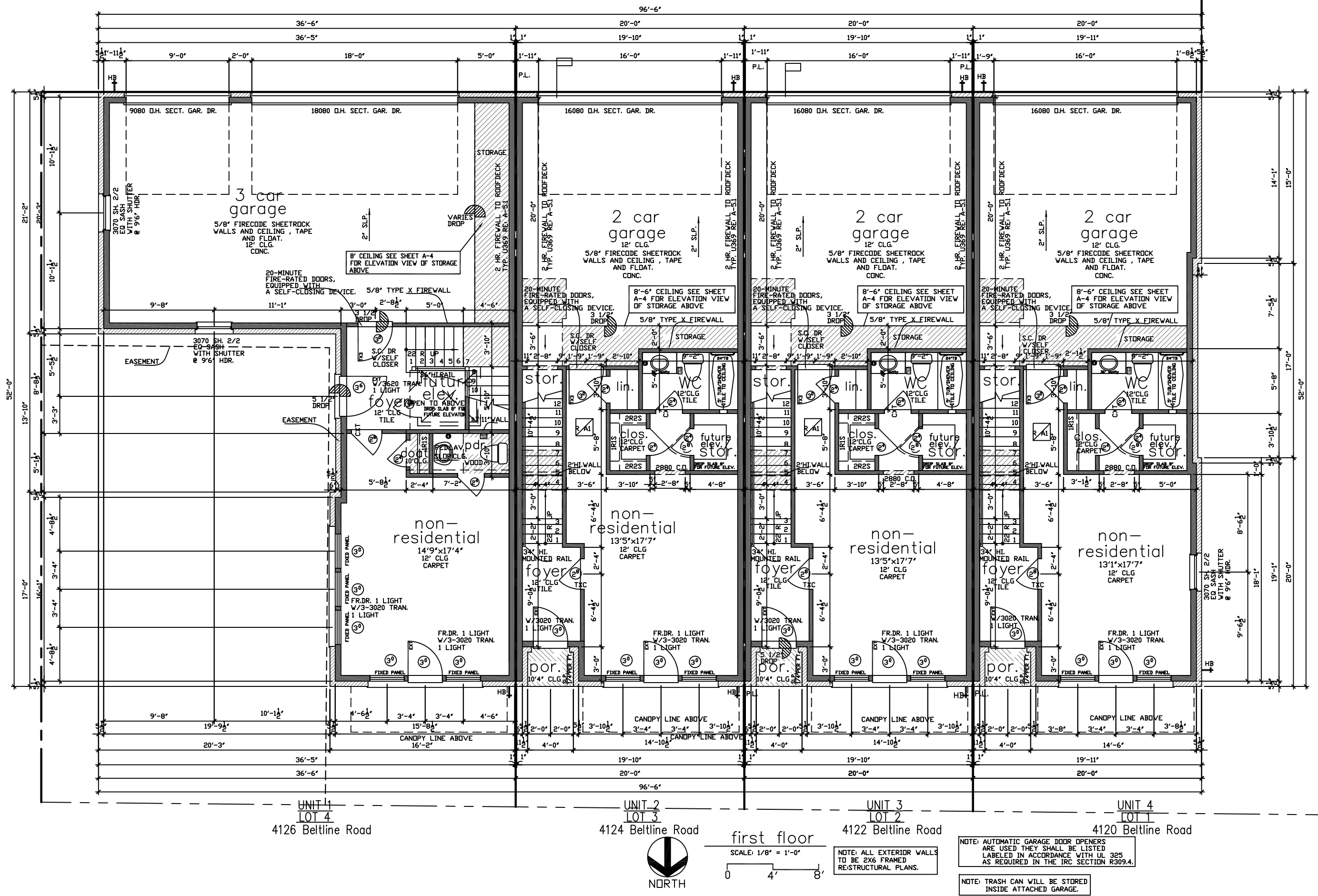
unit 4 square footage

FIRST FLOOR	561
SECOND FLOOR	1934
THIRD FLOOR	1034
ROOF TERRACE	730
TOTAL LIVING AREA	3421
GARAGE	482
PORCH	12
ROOF DECK	194
TOTAL SLAB AREA	1034

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDING DRAWINGS IN GENERAL, COMPLIANCE WITH ANSI Z763-2003 ACTUAL SQUARE FOOTAGE MAY VARY

NOTE :
OUTSIDE NOISE LEVELS, MEASURED WITHIN THE HABITABLE SPACE OF THE UNITS, WILL NOT EXCEED 45 DNL.

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	3779	3
UNIT 2	3295	3
UNIT 3	3295	3
UNIT 4	3421	3



ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE-BLOCK A-BUILDING 1

PLAN NO.

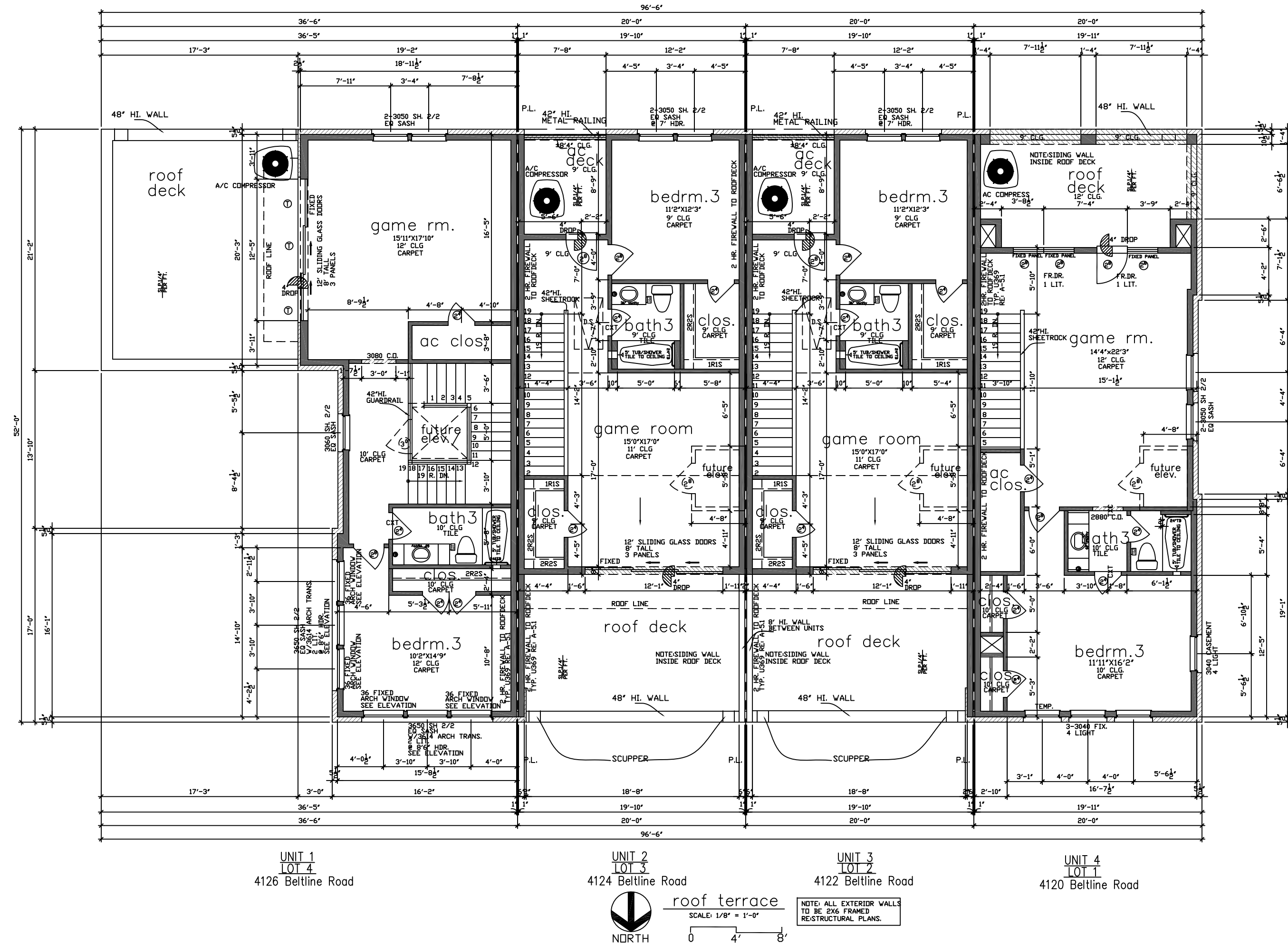
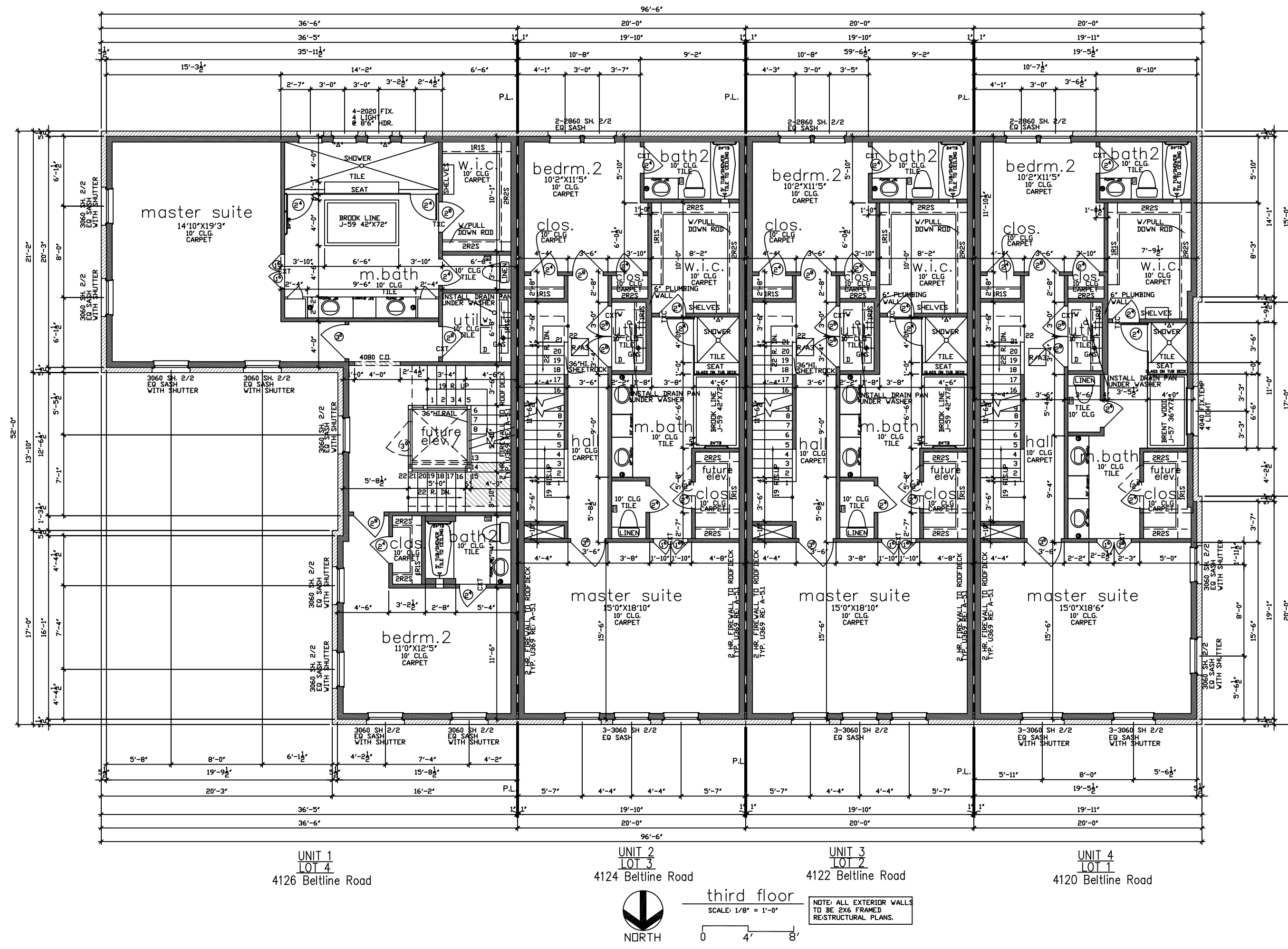
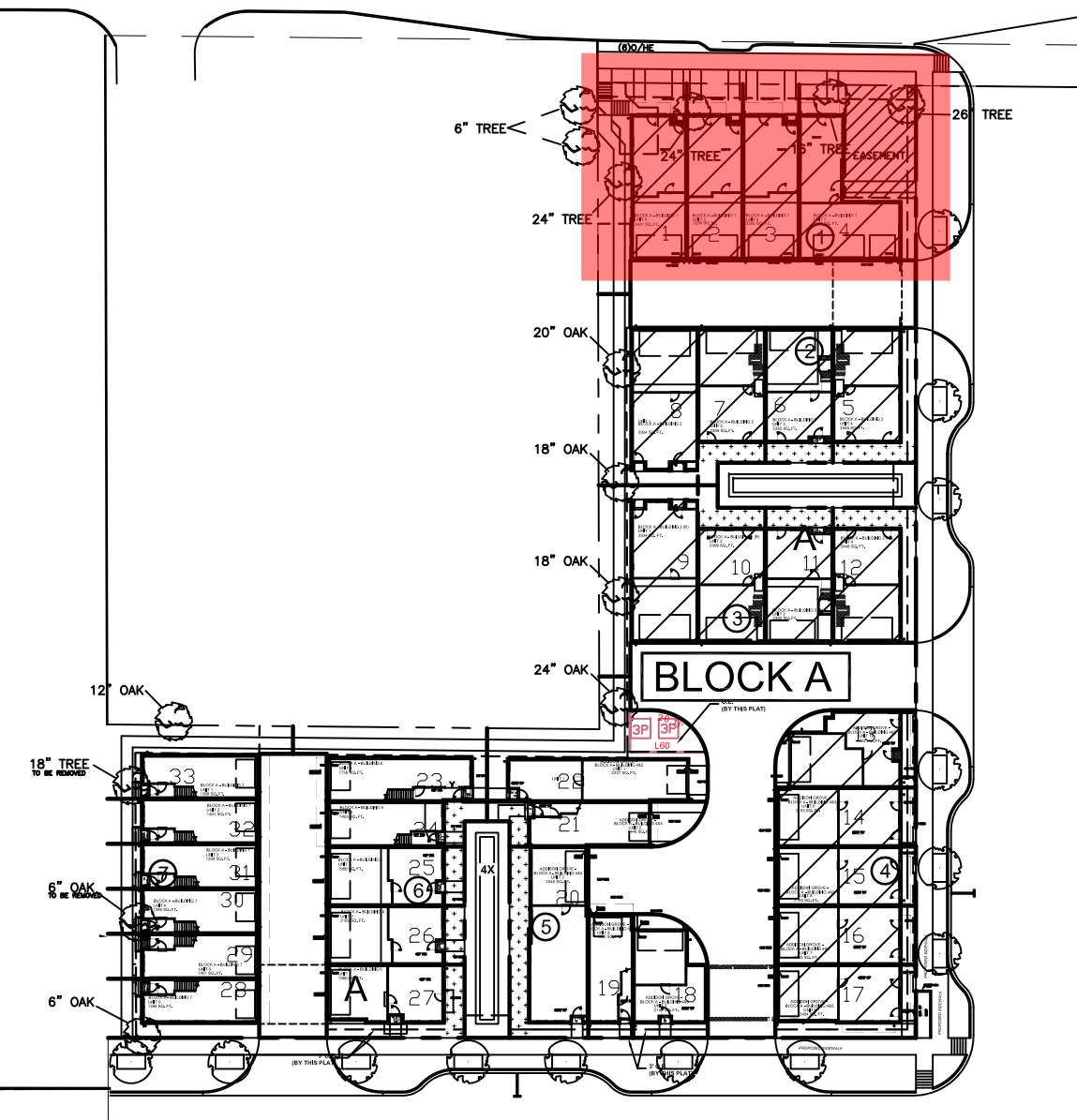
UNIT 1	3779
UNIT 2	3295
UNIT 3	3295
UNIT 4	3421

SHEET NO.
A-2.1

Drawn By/Checked By: C.L./F.M.
Original Date Issued: 02/01/2016
Scale: 1/8" = 1'-0"
Last Updated: 02/26/2021

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PHONE: 713-961-3877



ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE-BLOCK A-BUILDING 1

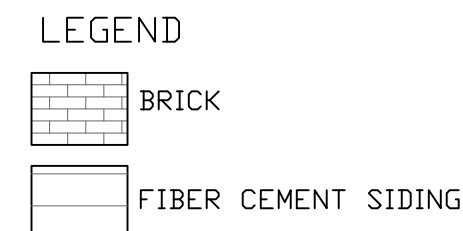
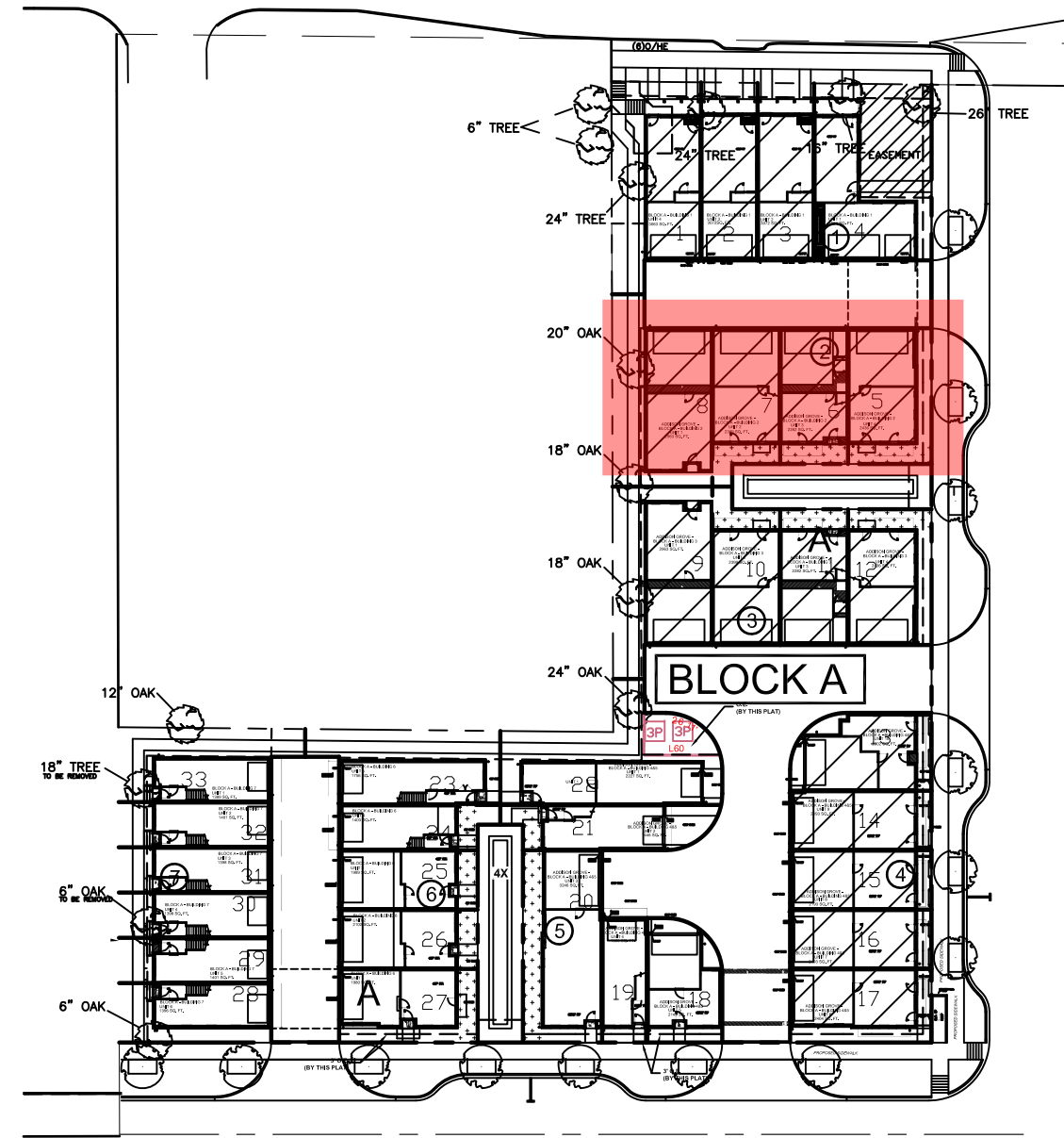
PLAN NO.	
UNIT 1	3779
UNIT 2	3295
UNIT 3	3295
UNIT 4	3421

SHEET NO.
A-2.2

Drawn By/Checked By:
C.L./F.M.
Original Date Issued:
02/01/2016
Scale:
1/8" = 1'-0"
Last Updated:
02/26/2021

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URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

UNIT 1
 TPO ROOF
 METAL CLAD WOOD WINDOWS
 METAL CANOPY

UNIT 2&3
 COMPOSITION SHINGLES TYPICAL ROOF
 METAL CLAD WOOD WINDOWS
 METAL CANOPY

UNIT 4
 TPO ROOF
 METAL CLAD WOOD WINDOWS
 METAL CANOPY

SOUTH/FRONT

MATERIAL CALCULATION TABLE		
SIDING	66	2.3%
BRICK	2792	97.7%
GLAZING	1095	27.7%
TOTAL SURFACE AREA	3953	

FACADE PLAN NOTES

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south/front elevation
 SCALE: 1/4" = 1'-0"
 0 4' 8'

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 PHONE: 713-961-3877

Drawn By/Checked By: C.L./F.M.
 Original Date Issued: 02/01/2016
 Scale: 1/4" = 1'-0"
 Last Updated: 07/11/2019

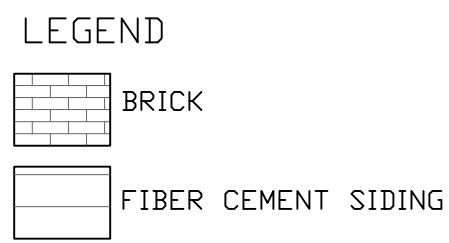
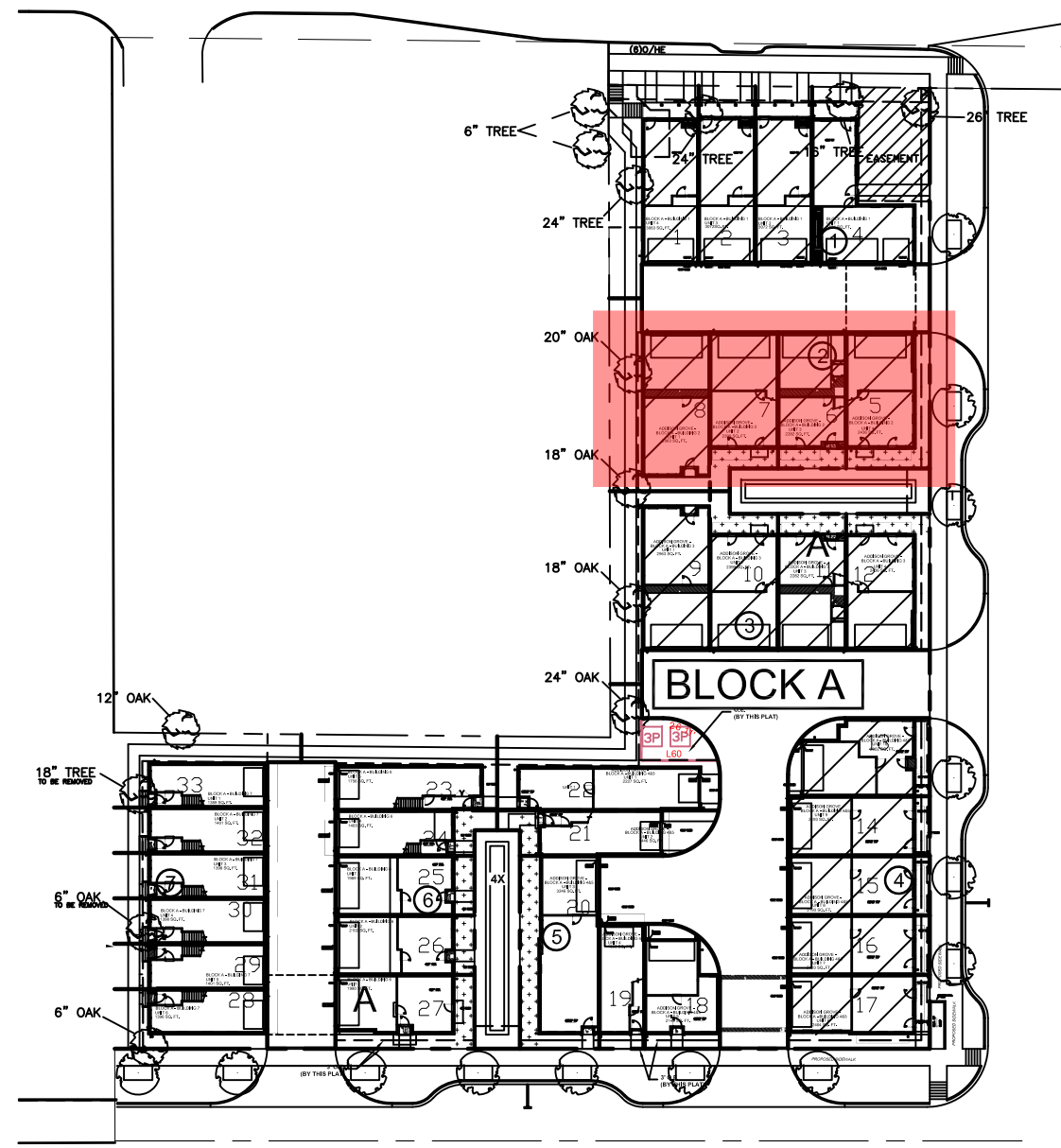
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 1520 OLIVER STREET, HOUSTON, TX 77007
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ADDISON GROVE - BLOCK A - BUILDING 2
SOUTH / FRONT ELEVATION

PLAN NO.

UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

SHEET NO.
A-3.1



ADDITIONAL BUILDING MATERIALS

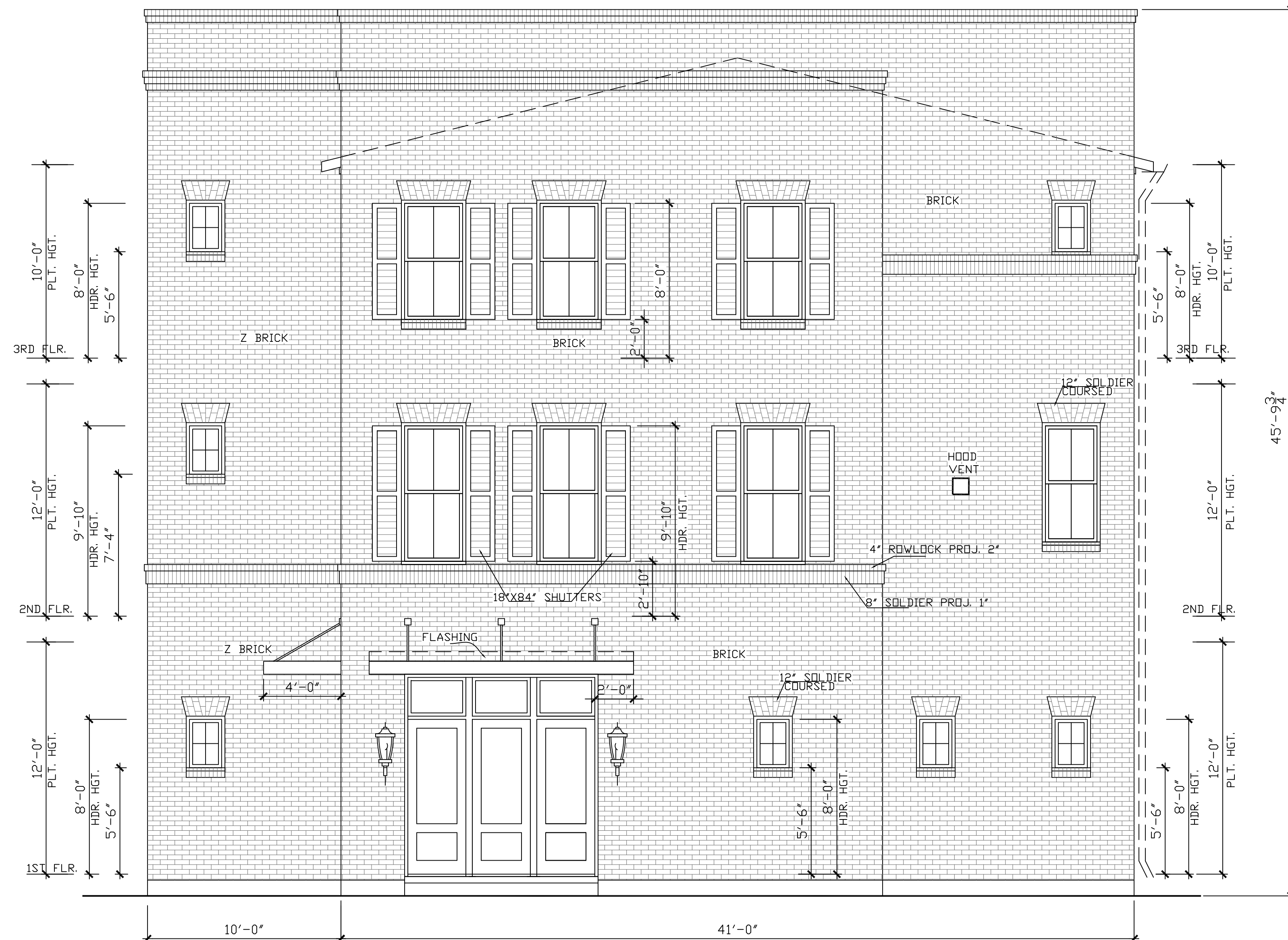
- TPO ROOF
- METAL CLAD WOOD WINDOWS
- METAL CANOPY

EAST/RIGHT

MATERIAL CALCULATION TABLE		
BRICK	2544	100%
GLAZING	206	9.0%
TOTAL SURFACE AREA	2295	

FACADE PLAN NOTES

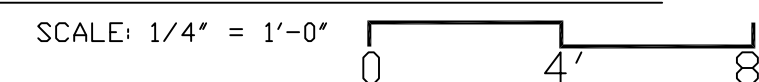
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UNIT 1
LOT 8
15009 Oak Street

UNIT 4
LOT 5
15015 Oak Street

east/right elevation



ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 2

EAST / RIGHT ELEVATIONS

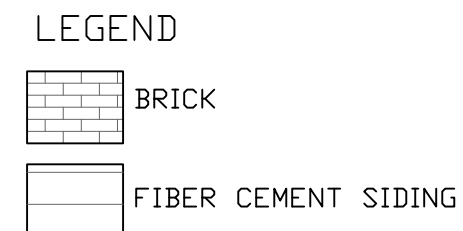
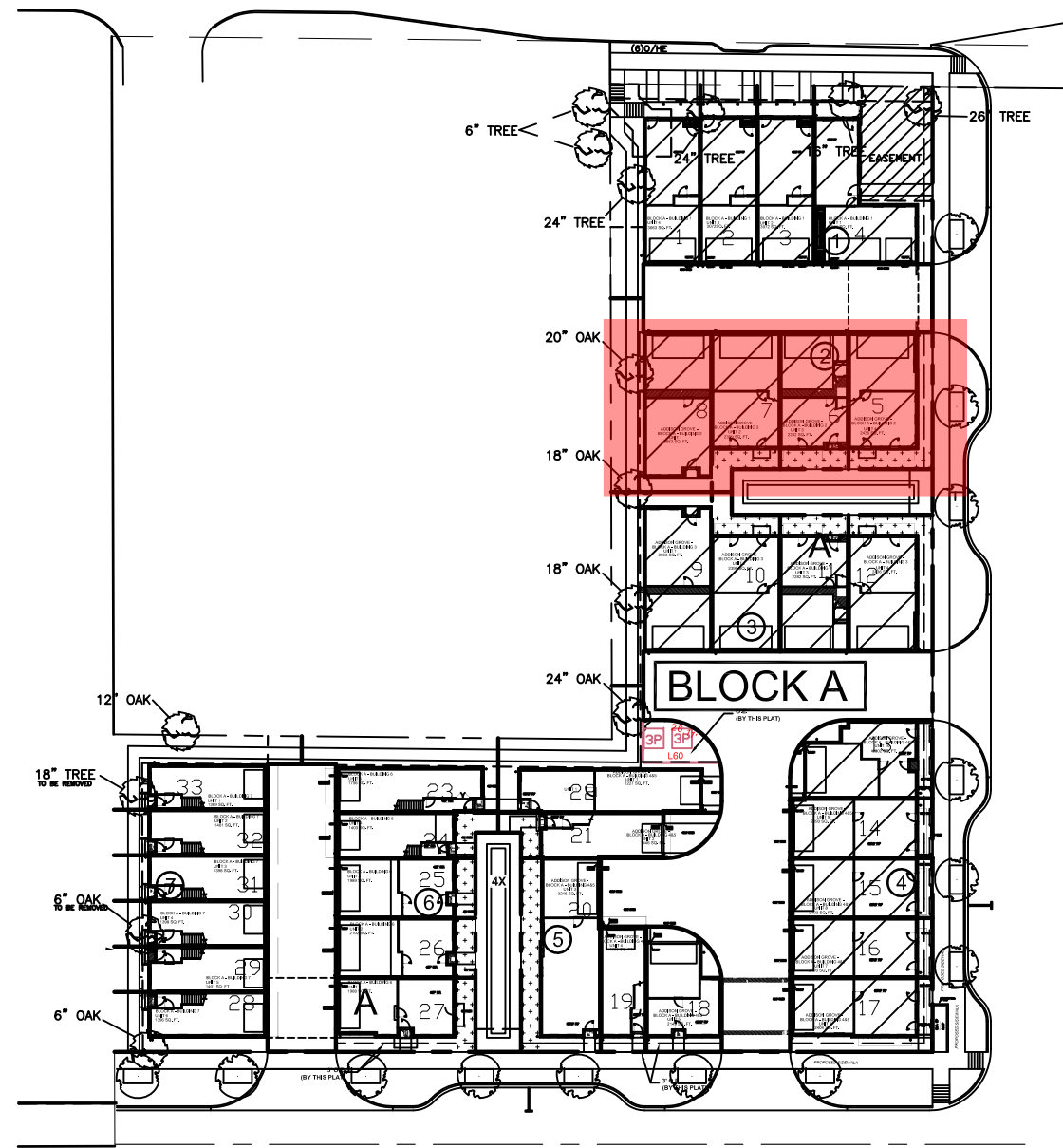
Drawn By/Checked By: C.L./F.M.
 Original Date Issued: 02/01/2016
 Scale: 1/4" = 1'-0"
 Last Updated: 07/11/2019

URBANINTOWNHOMES, Ltd.
 1520 OLIVER STREET, HOUSTON, TX 77007
 (713)880-4811 TEL. (713)426-4410 FAX

PLAN NO.	
UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

SHEET NO.
A-3.2

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

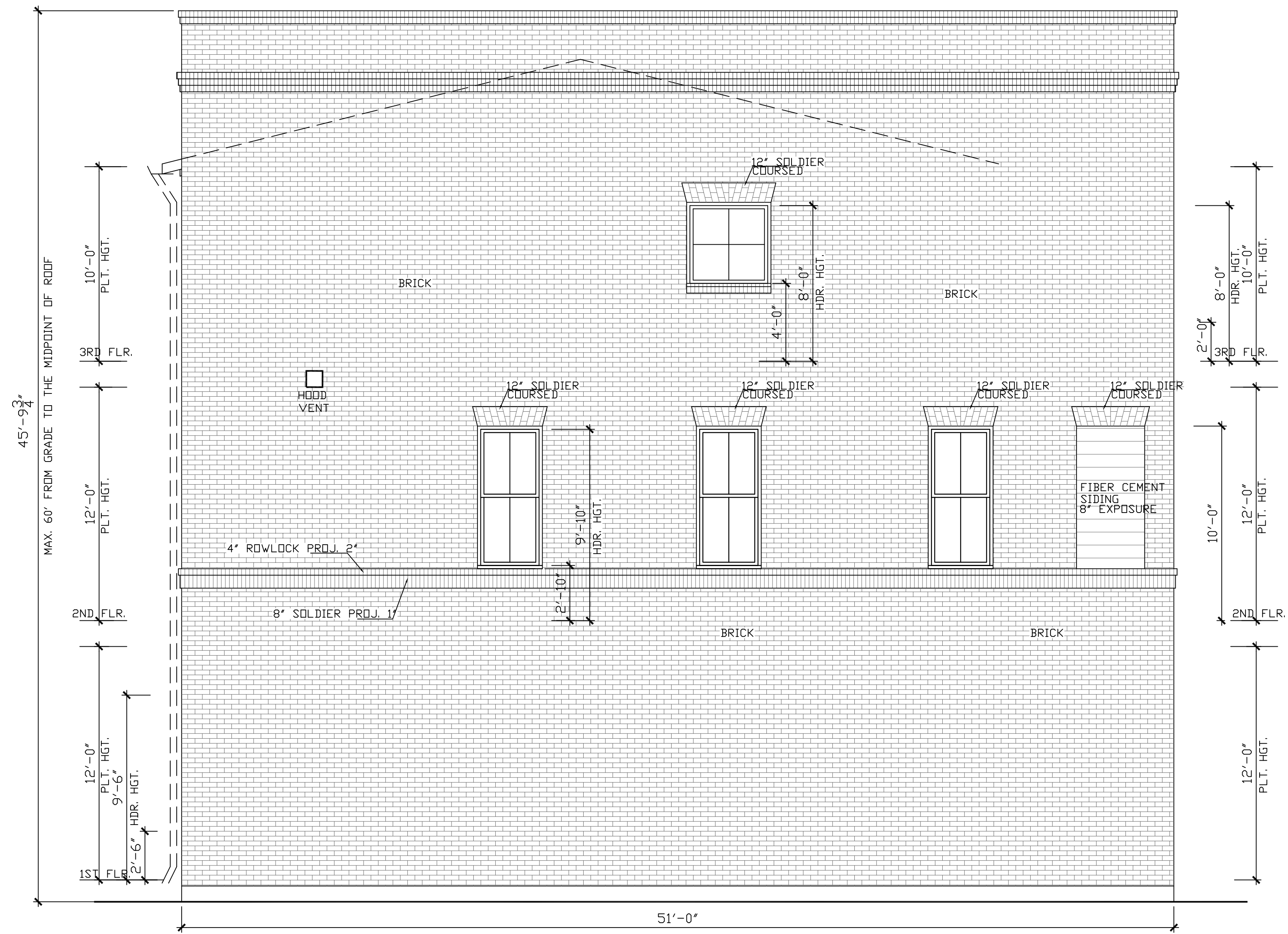
- TPO ROOF
- METAL CLAD WOOD WINDOWS
- METAL CANOPY

WEST/LEFT

MATERIAL CALCULATION TABLE		
SIDING	26	1.2%
BRICK	2179	98.8%
GLAZING	90	3.9%
TOTAL SURFACE AREA	2295	

FACADE PLAN NOTES

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UNIT 1
LOT 8
 15009 Oak Street
 west/left elevation
 SCALE: 1/4" = 1'-0"

ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 2

WEST / LEFT ELEVATIONS

URBANINTOWNHOMES, Ltd.

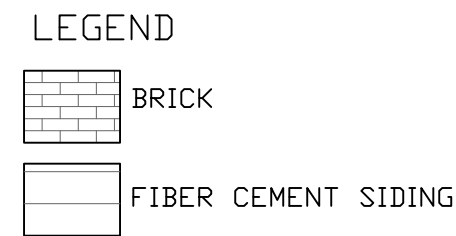
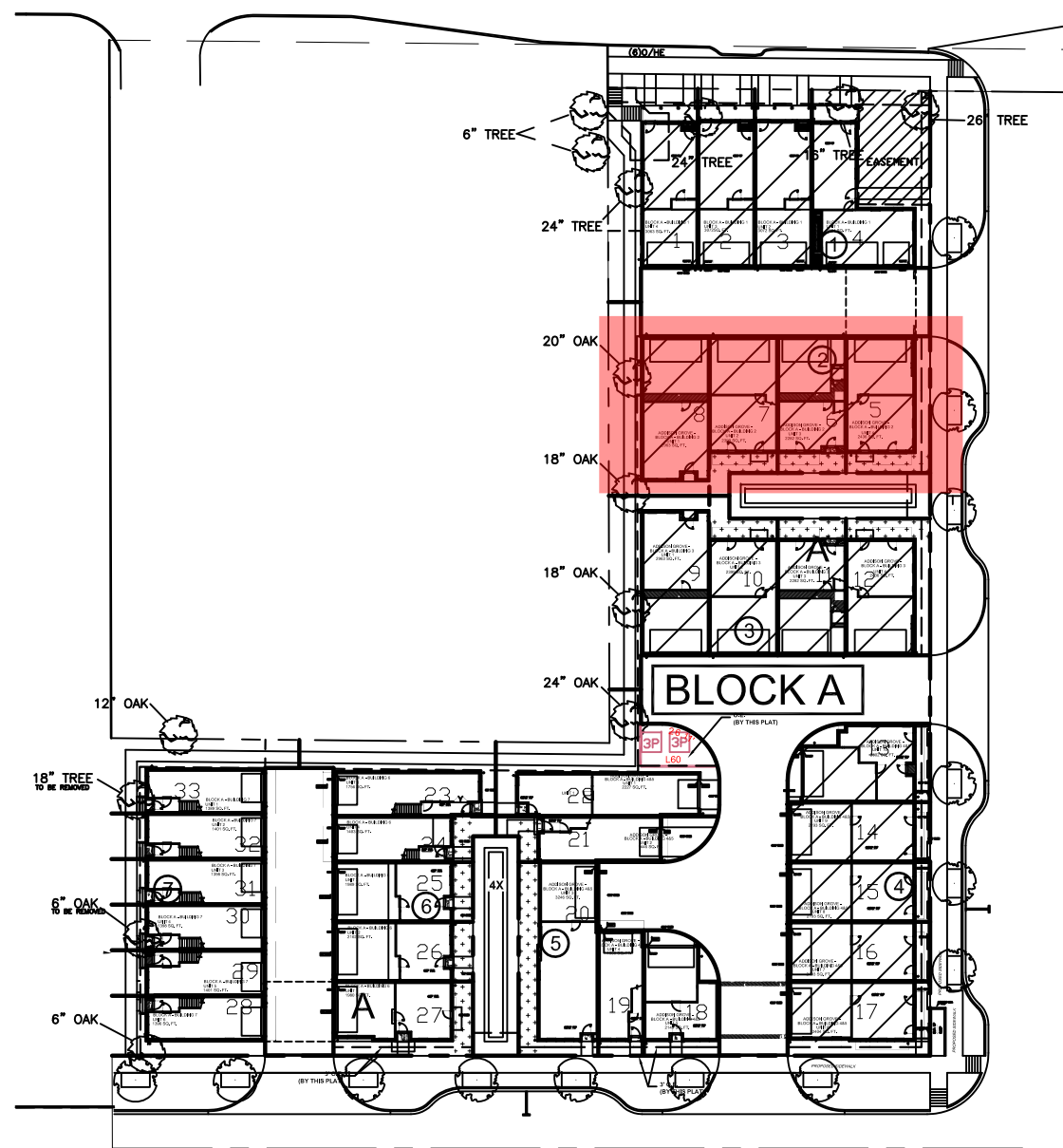
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PLAN NO.	
UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

SHEET NO.
A-3.3

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

- UNIT 1 & 4 TPO ROOF
- METAL CLAD WOOD WINDOWS
- METAL CANOPY
- SQUARE GUTTER
- UNIT 2&3 COMPOSITION SHINGLES TYPICAL ROOF
- METAL CLAD WOOD WINDOWS
- METAL CANOPY

NORTH/REAR

MATERIAL CALCULATION TABLE		
BRICK	3006	100%
GLAZING	370	11.0%
TOTAL SURFACE AREA	3376	

FACADE PLAN NOTES

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ADDISON GROVE - BLOCK A - BUILDING 2

NORTH / REAR ELEVATION

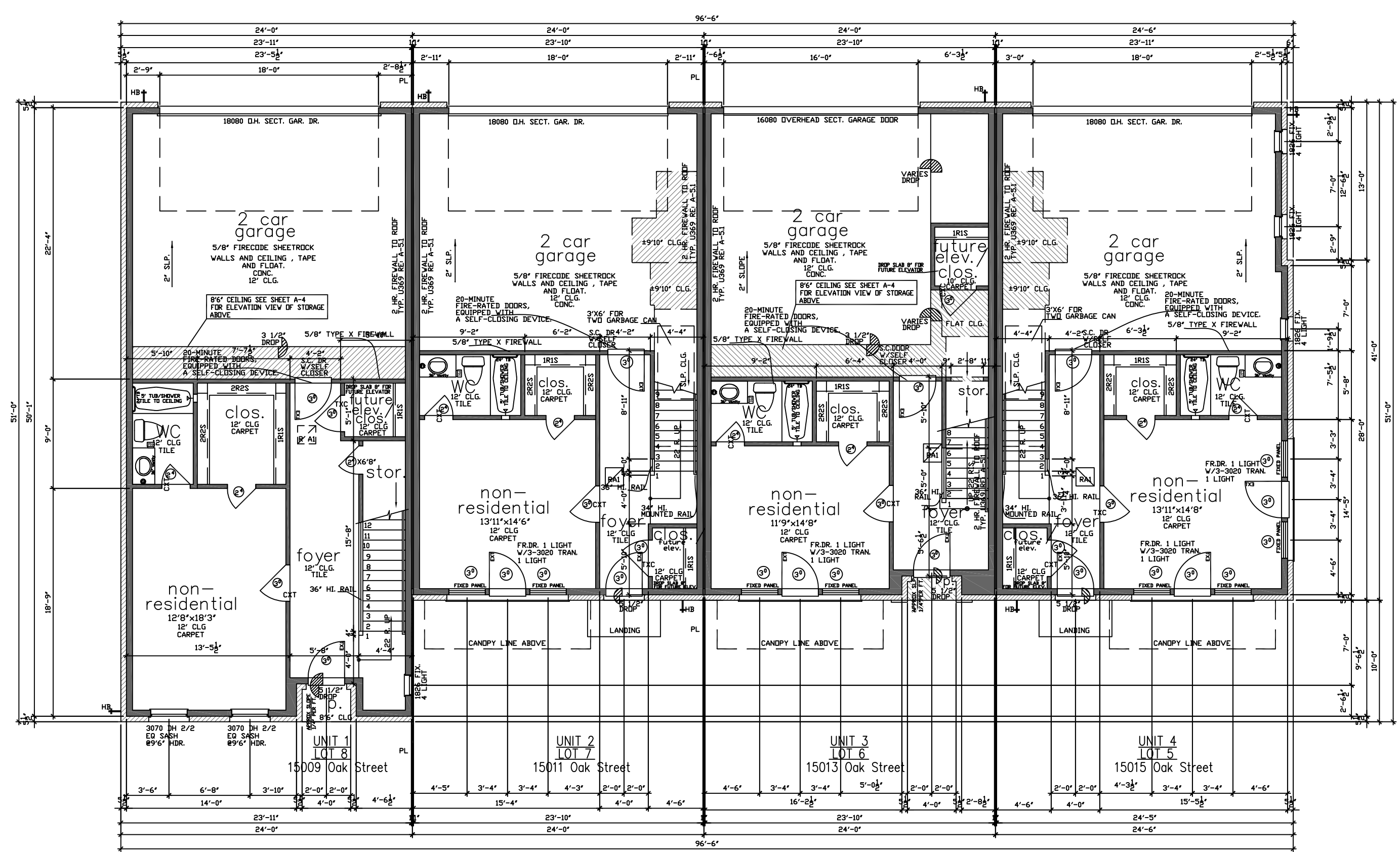
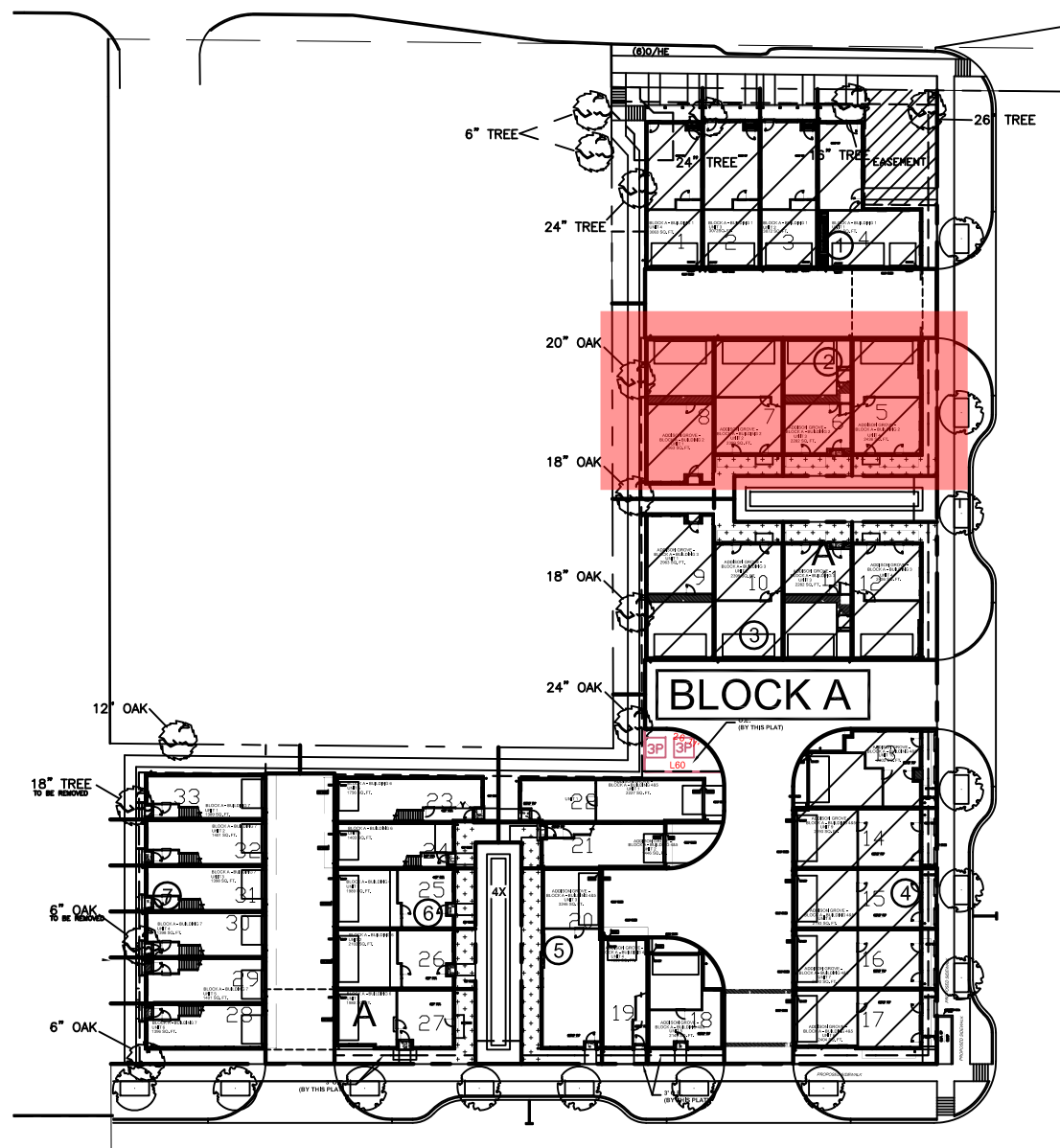
PLAN NO.

UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

SHEET NO.
A-3.4



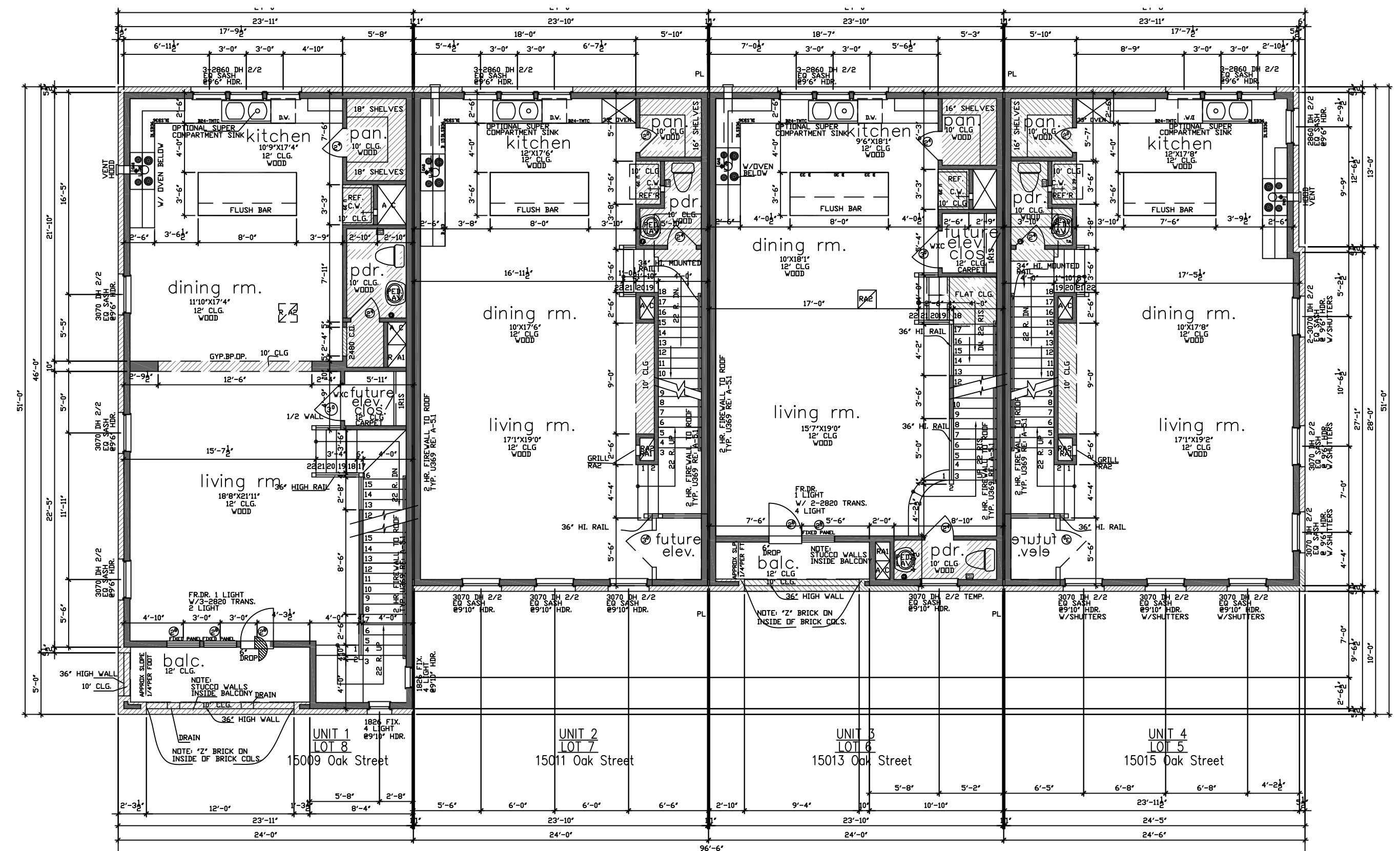
URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
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First Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

NOTE :
OUTSIDE NOISE LEVELS, MEASURED WITHIN
THE HABITABLE SPACE OF THE UNITS,
WILL NOT EXCEED 45 DNL.

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2963	2
UNIT 2	2399	2
UNIT 3	2282	2
UNIT 4	2436	2



Second Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

unit1 square footage

FIRST FLOOR	644
SECOND FLOOR	1339
THIRD FLOOR	1362
TOTAL LIVING AREA	2963
GARAGE	547
PORCH	11
BALCONY	65
TOTAL SLAB AREA	1224

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

unit2 square footage

FIRST FLOOR	493
SECOND FLOOR	964
THIRD FLOOR	942
TOTAL LIVING AREA	2399
GARAGE	431
PORCH	0
BALCONY	0
TOTAL SLAB AREA	984

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

unit3 square footage

FIRST FLOOR	427
SECOND FLOOR	926
THIRD FLOOR	929
TOTAL LIVING AREA	2282
GARAGE	542
PORCH	0
BALCONY	0
TOTAL SLAB AREA	984

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

unit4 square footage

FIRST FLOOR	568
SECOND FLOOR	998
THIRD FLOOR	936
TOTAL LIVING AREA	2436
GARAGE	496
PORCH	0
BALCONY	0
TOTAL SLAB AREA	998

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

ADDISON GROVE

URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK A - BUILDING 2

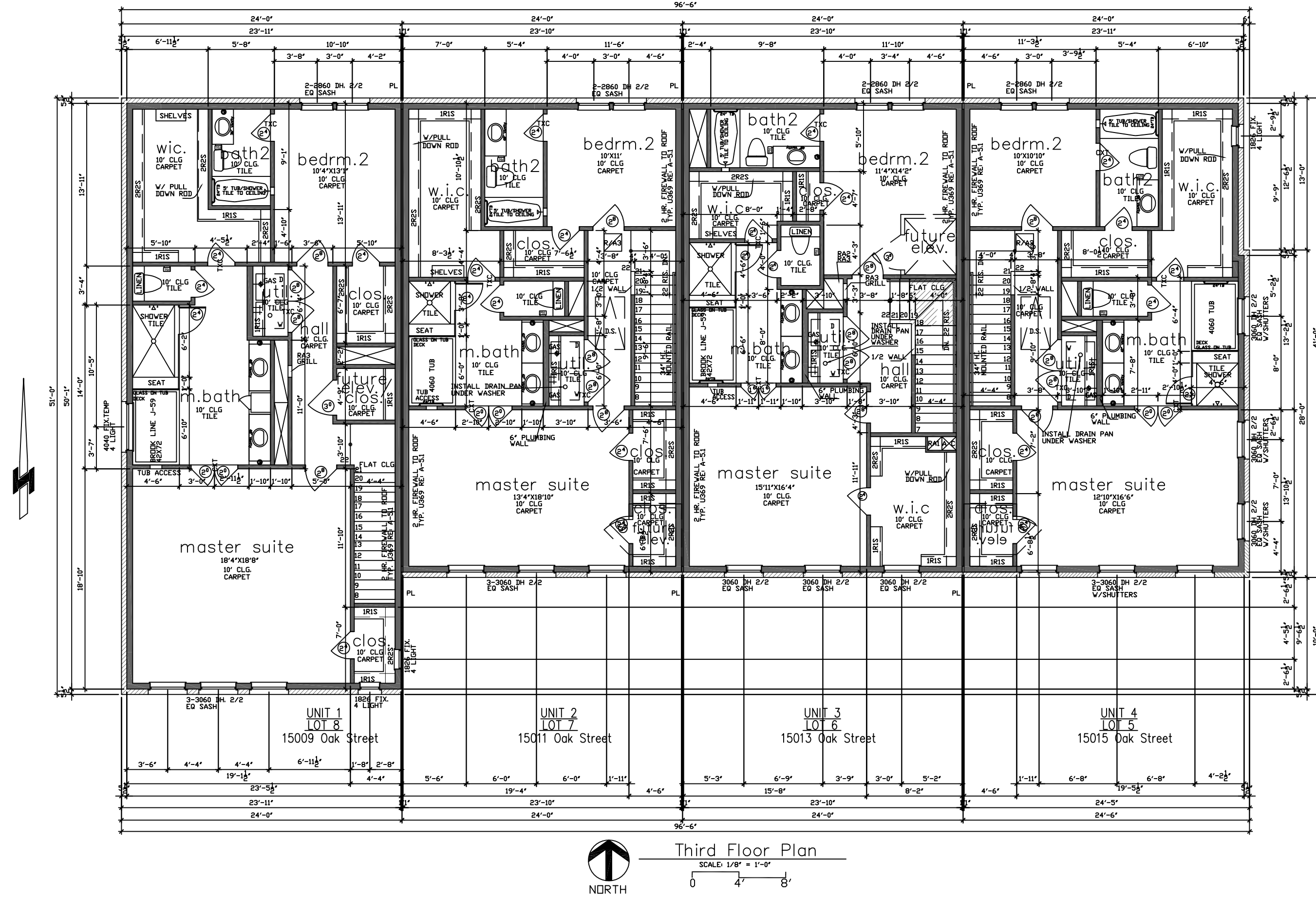
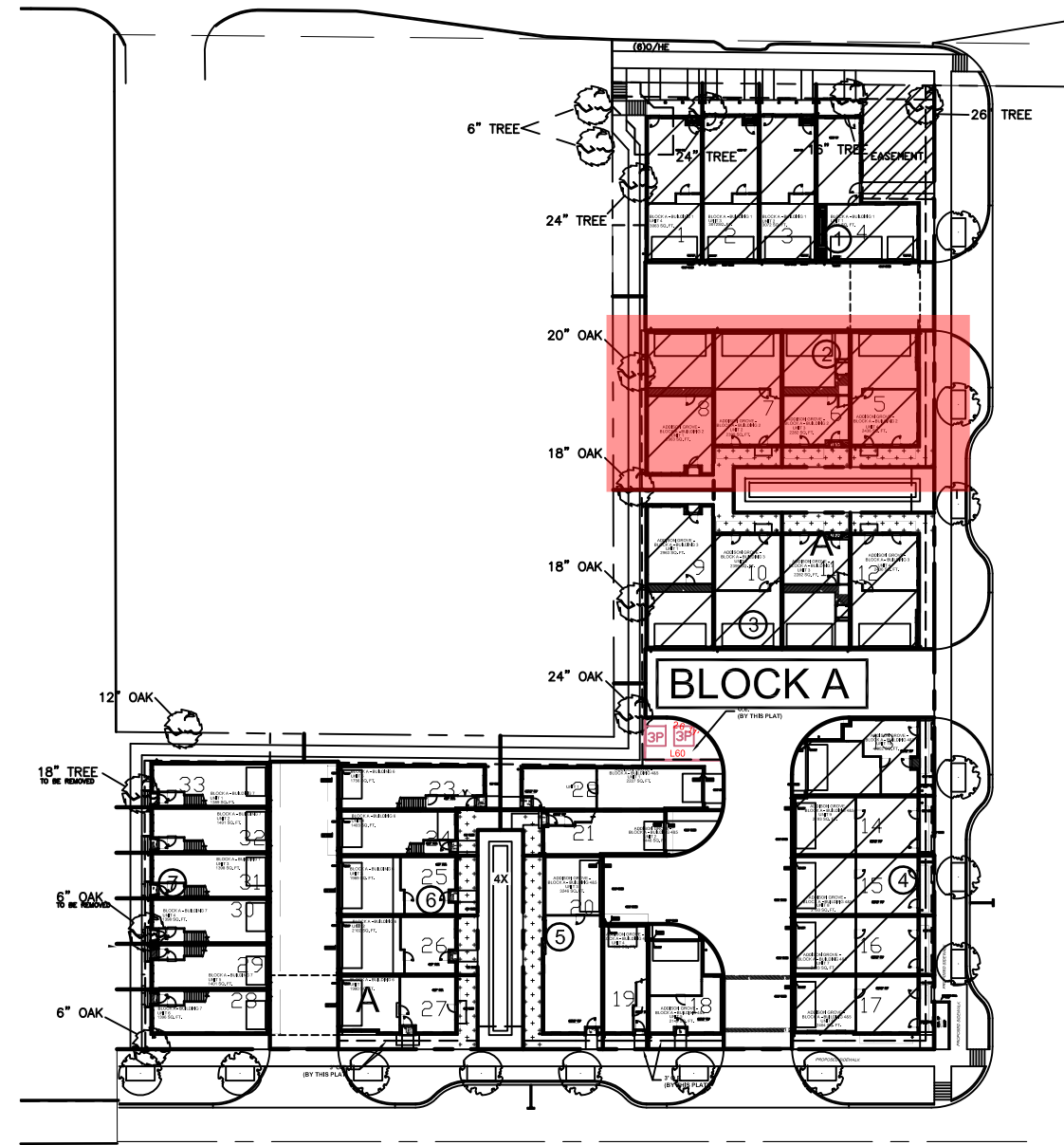
PLAN NO.

A-2.1

Drawn By/Checked By:
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Original Date Issued:
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1/8" = 1'-0"
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ADDISON GROVE

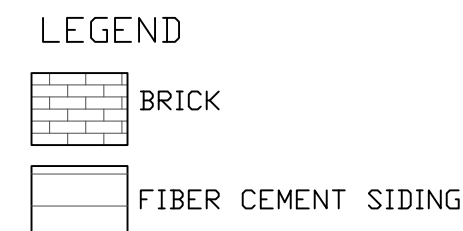
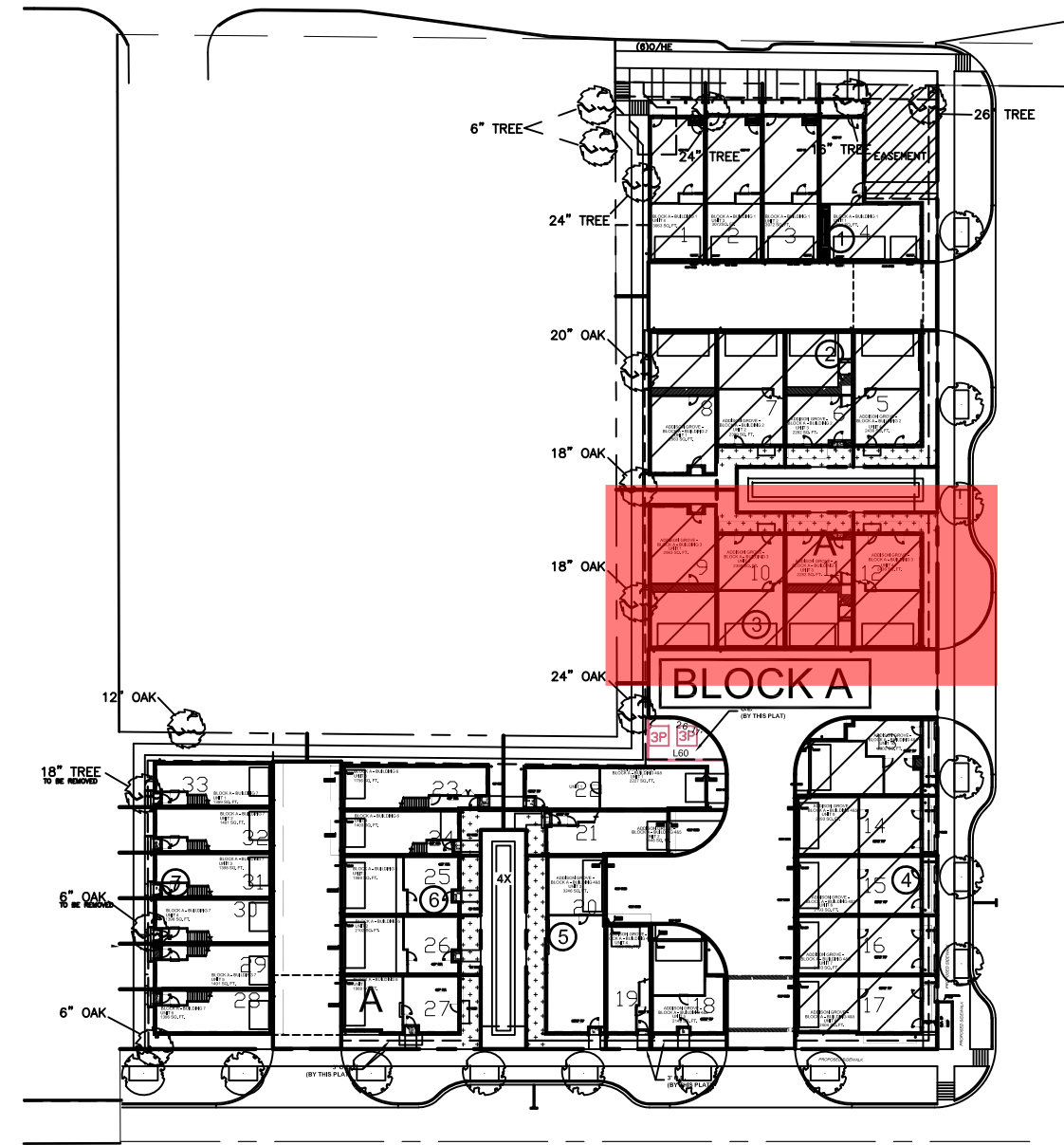
ADDISON GROVE - BLOCK A - BUILDING 2

FLOOR PLAN

PLAN NO.	
UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

SHEET NO.
A-2.2

URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

UNIT 1
 TPO ROOF
 METAL CLAD WOOD WINDOWS
 METAL CANOPY

UNIT 4
 TPO ROOF
 METAL CLAD WOOD WINDOWS
 METAL CANOPY

UNIT 2&3
 COMPOSITION SHINGLES TYPICAL ROOF
 METAL CLAD WOOD WINDOWS
 METAL CANOPY

NORTH/FRONT

MATERIAL CALCULATION TABLE		
SIDING	66	2.3%
BRICK	2792	97.7%
GLAZING	1095	27.7%
TOTAL SURFACE AREA	3953	

FACADE PLAN NOTES

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ADDISON GROVE - BLOCK A - BUILDING 3

NORTH / FRONT ELEVATION

ADDISON GROVE

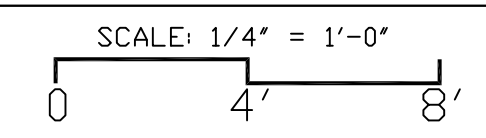
PLAN NO.

UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

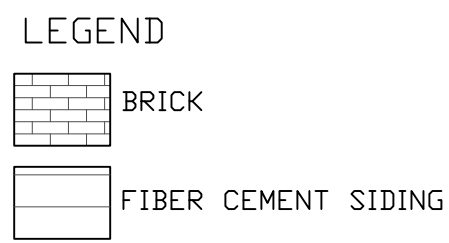
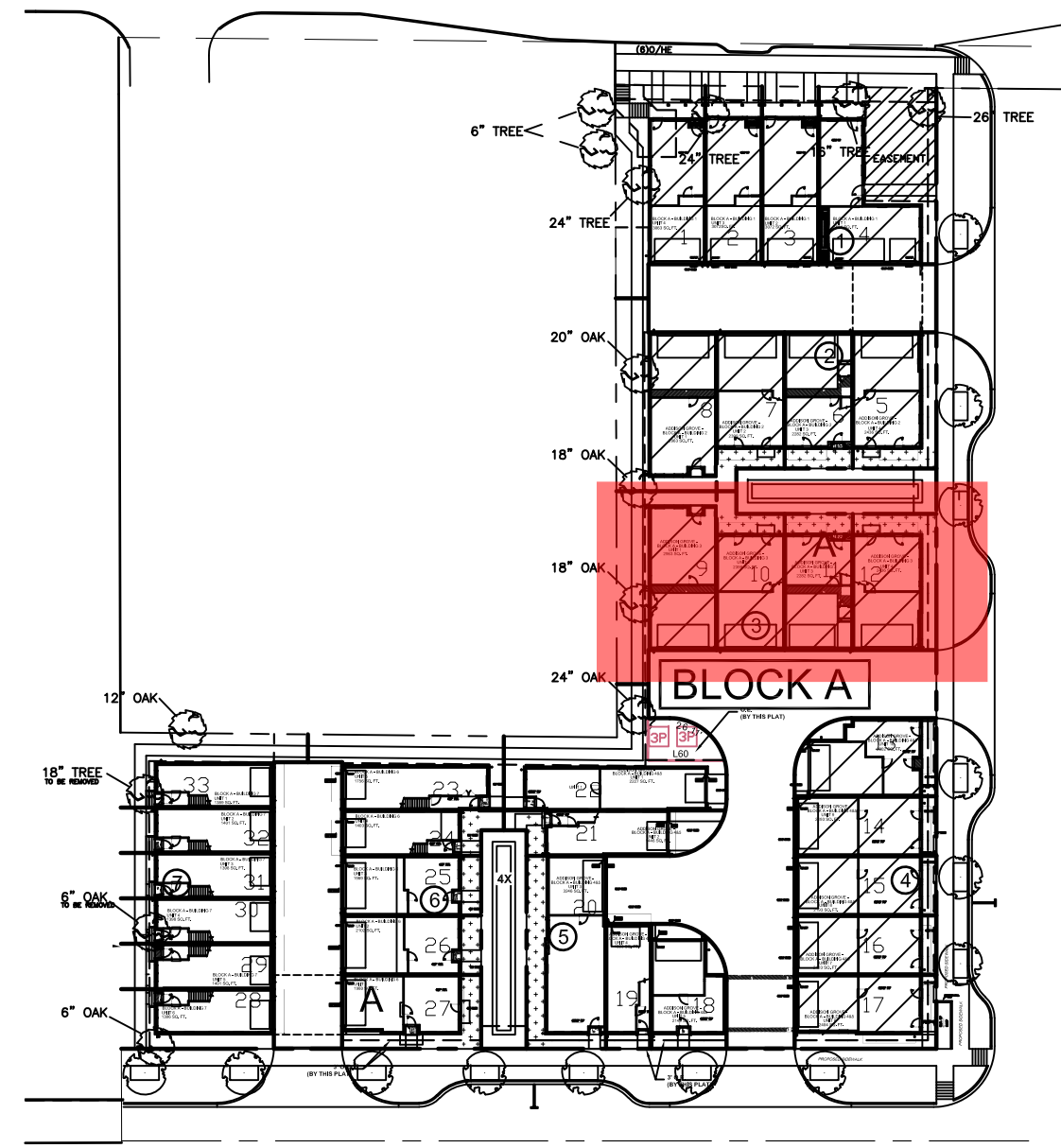
SHEET NO.
A-3.1



north/front elevation



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ADDITIONAL BUILDING MATERIALS

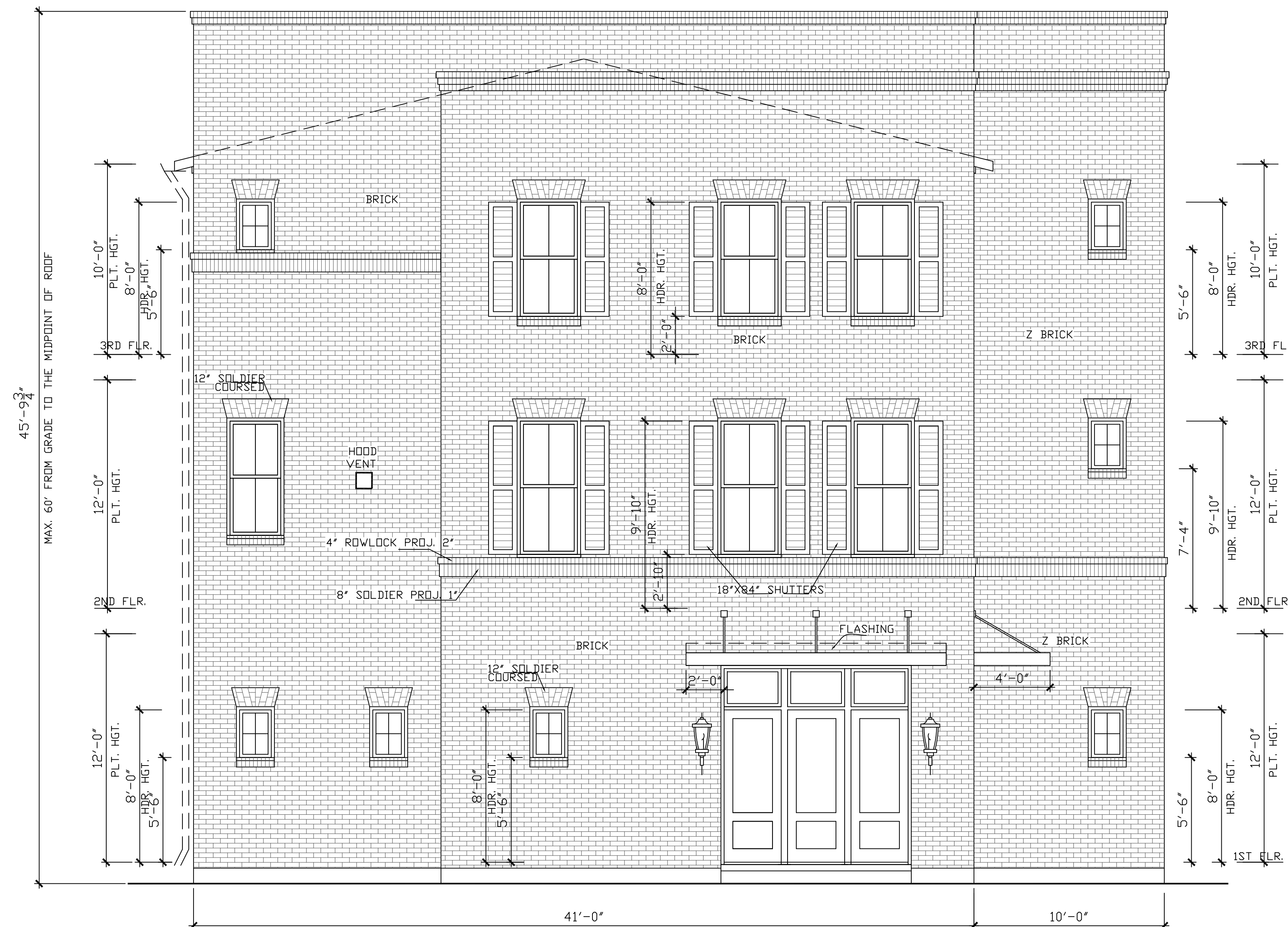
- TPD ROOF
- METAL CLAD WOOD WINDOWS
- METAL CANOPY

EAST/LEFT

MATERIAL CALCULATION TABLE		
BRICK	2544	100%
GLAZING	206	9.0%
TOTAL SURFACE AREA	2295	

FACADE PLAN NOTES

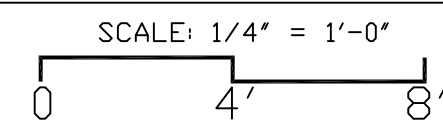
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UNIT 4
LOT 12
15001 Oak Street

UNIT 1
LOT 9
15007 Oak Street

east/left elevation



ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 3

EAST / LEFT ELEVATIONS

PLAN NO.

UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

SHEET NO.

A-3.2

Drawn By/Checked By:
C.L./F.M.

Original Date Issued:
02/01/2016

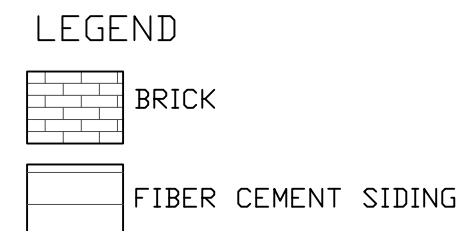
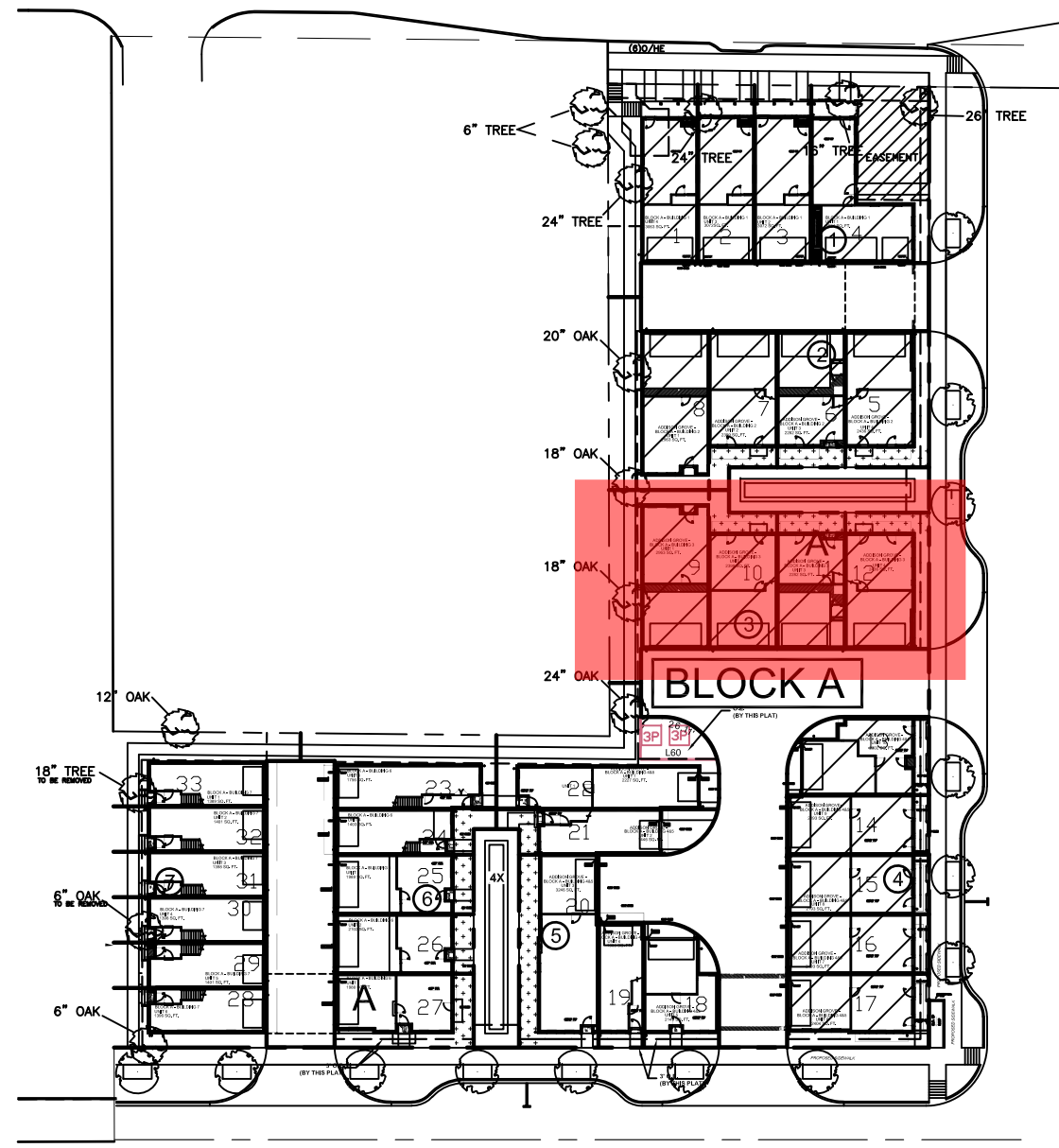
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Last Updated:
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ADDITIONAL BUILDING MATERIALS

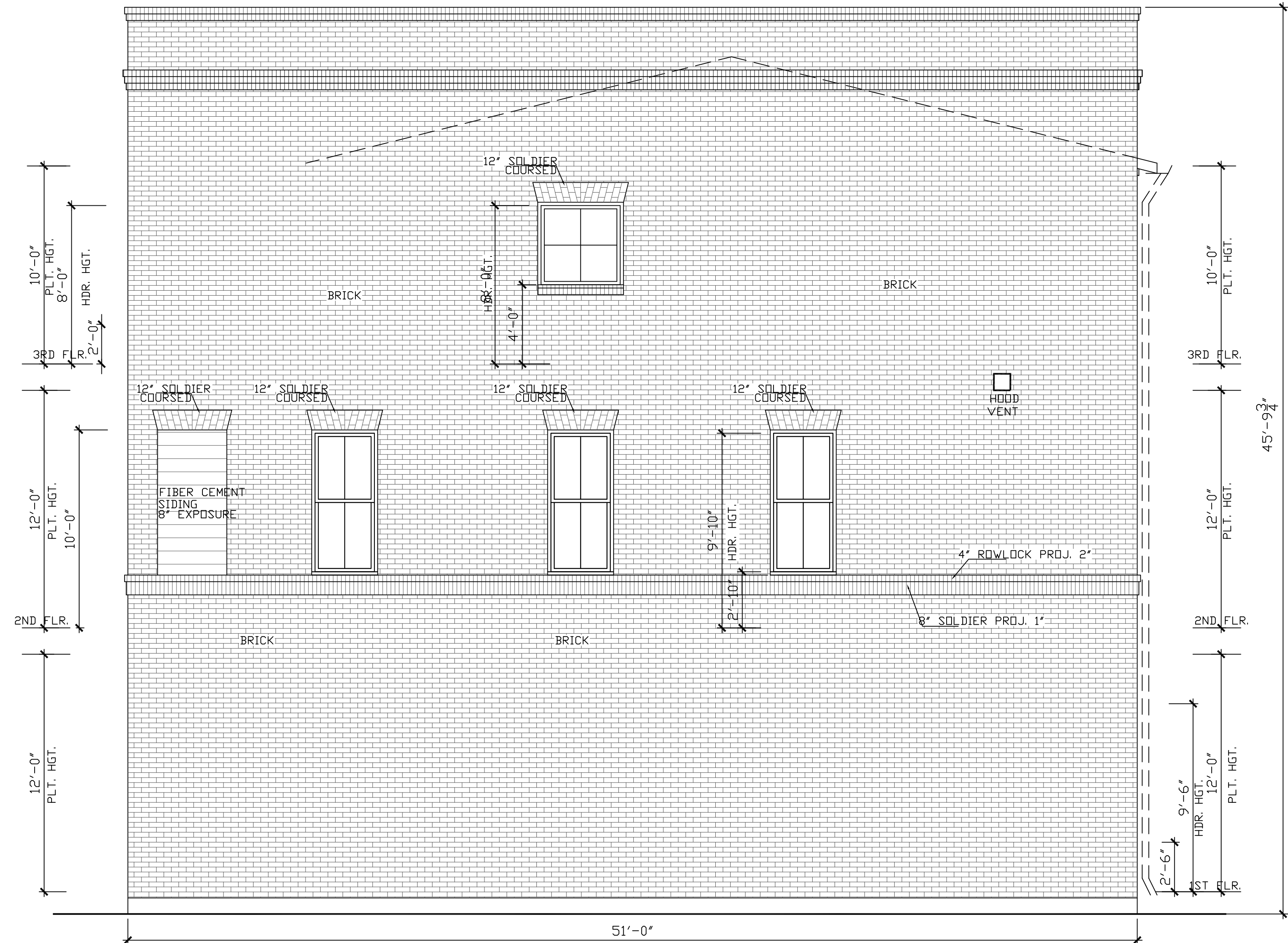
- TPO ROOF
- METAL CLAD WOOD WINDOWS
- METAL CANOPY

WEST/RIGHT

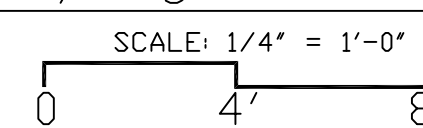
MATERIAL CALCULATION TABLE		
SIDING	26	1.2%
BRICK	2179	98.8%
GLAZING	90	3.9%
TOTAL SURFACE AREA	2295	

FACADE PLAN NOTES

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UNIT 1
LOT 9
15007 Oak Street
west/right elevation



ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK A - BUILDING 3

WEST / RIGHT ELEVATIONS

PLAN NO.

UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

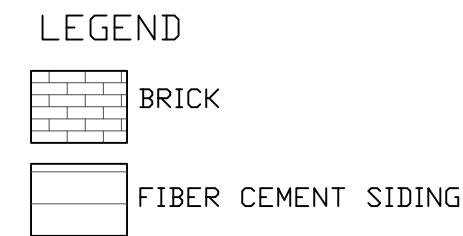
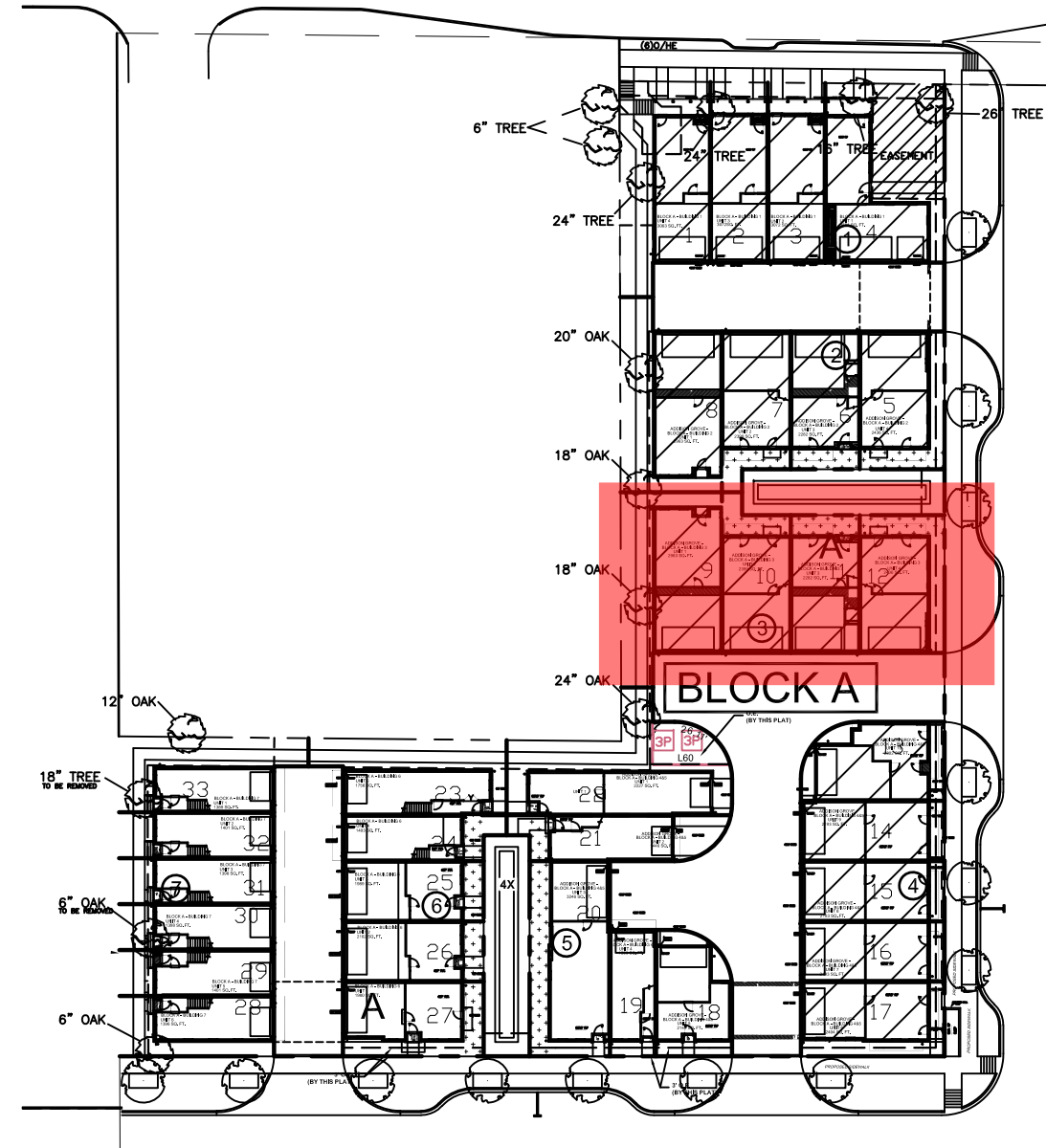
SHEET NO.

A-3.3

URBAN INTOWN HOMES
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ADDITIONAL BUILDING MATERIALS

- UNIT 1 & 4 TPO ROOF
- METAL CLAD WOOD WINDOWS
- METAL CANOPY
- SQUARE GUTTER
- UNIT 2&3 COMPOSITION SHINGLES TYPICAL ROOF
- METAL CLAD WOOD WINDOWS
- METAL CANOPY

SOUTH/REAR

MATERIAL CALCULATION TABLE

BRICK	3006	100%
GLAZING	370	11.0%
TOTAL SURFACE AREA	3376	

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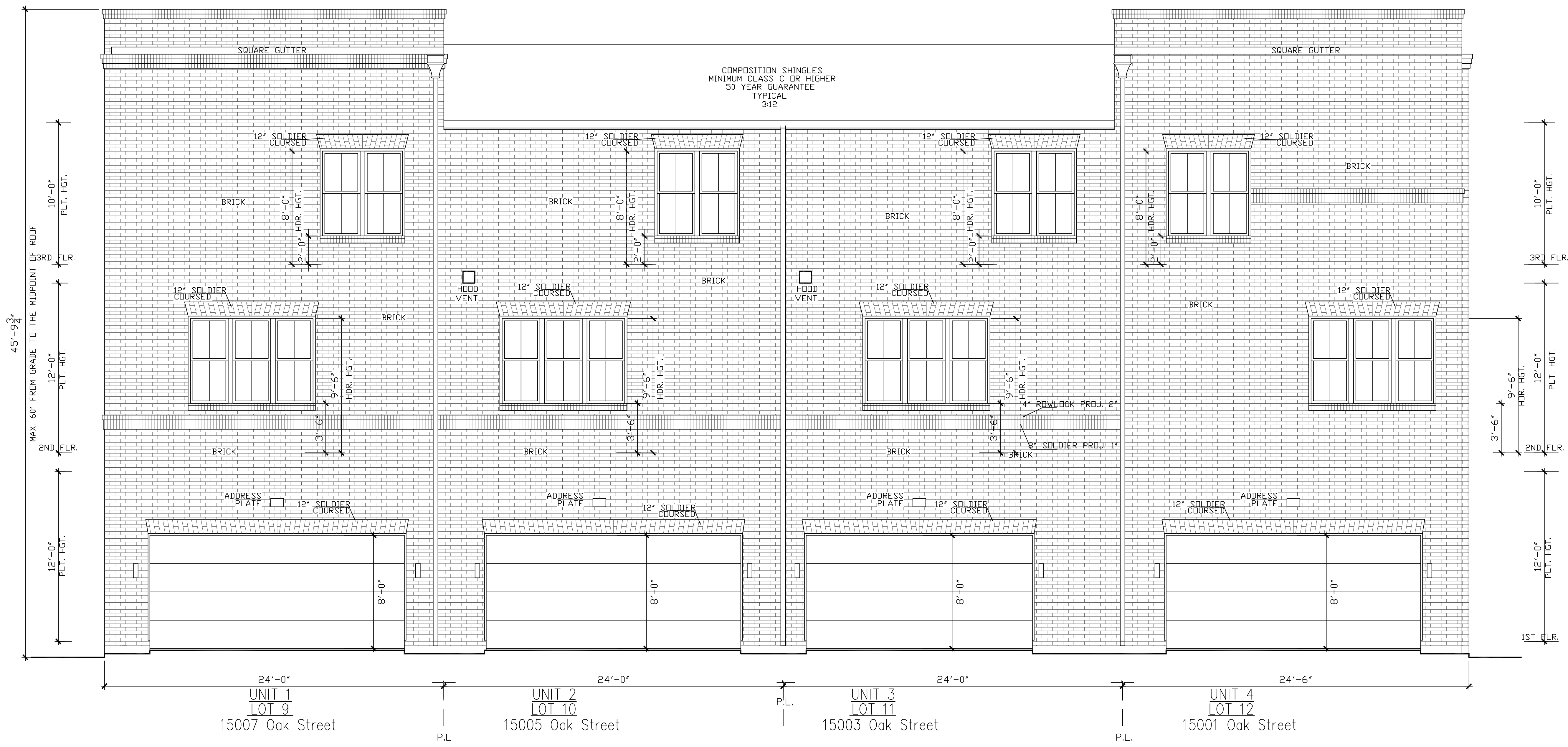
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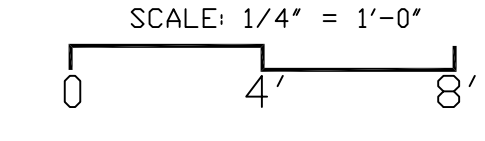
ADDISON GROVE - BLOCK A - BUILDING 3

SOUTH / REAR ELEVATION

ADDISON GROVE



south/rear elevation

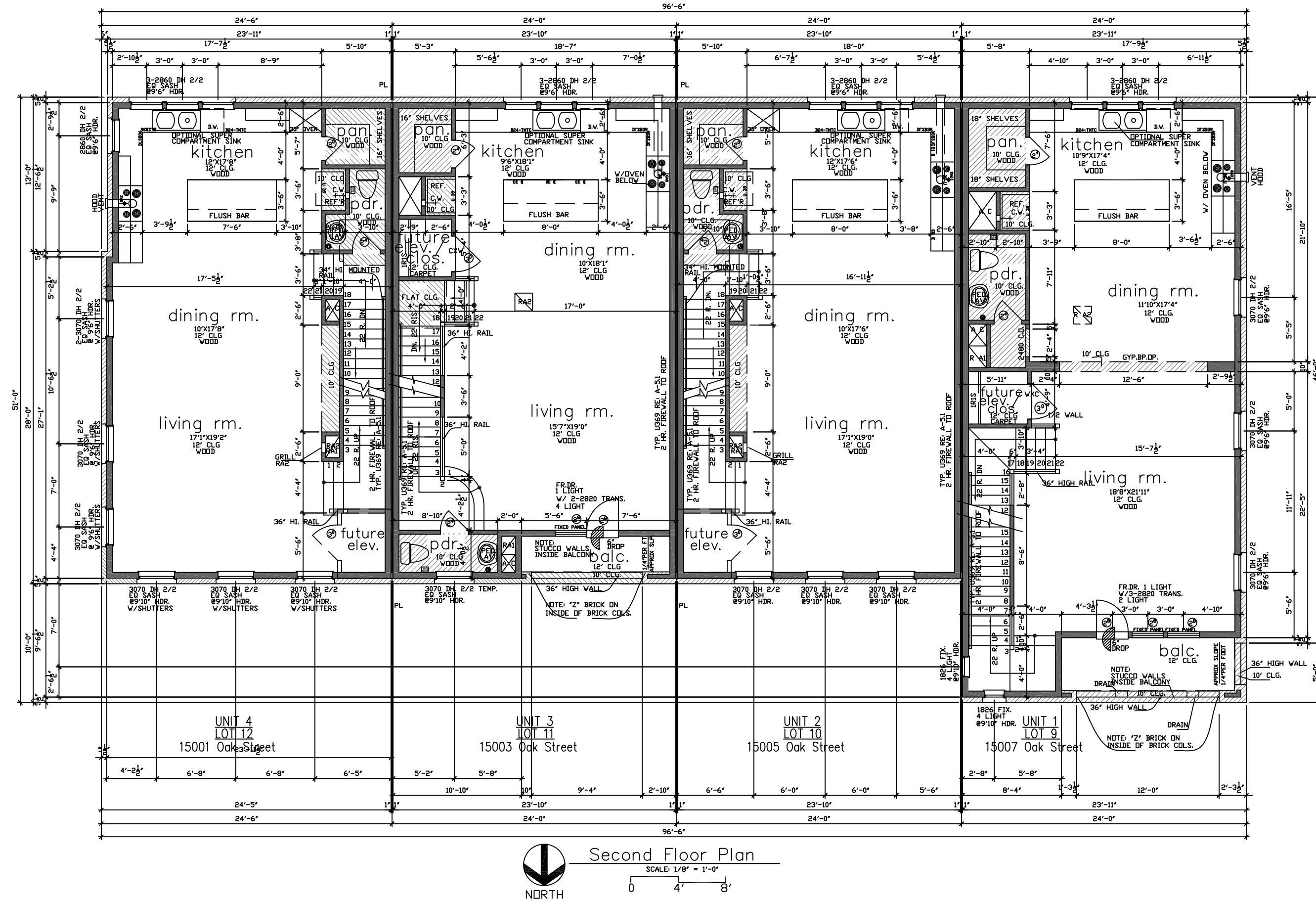
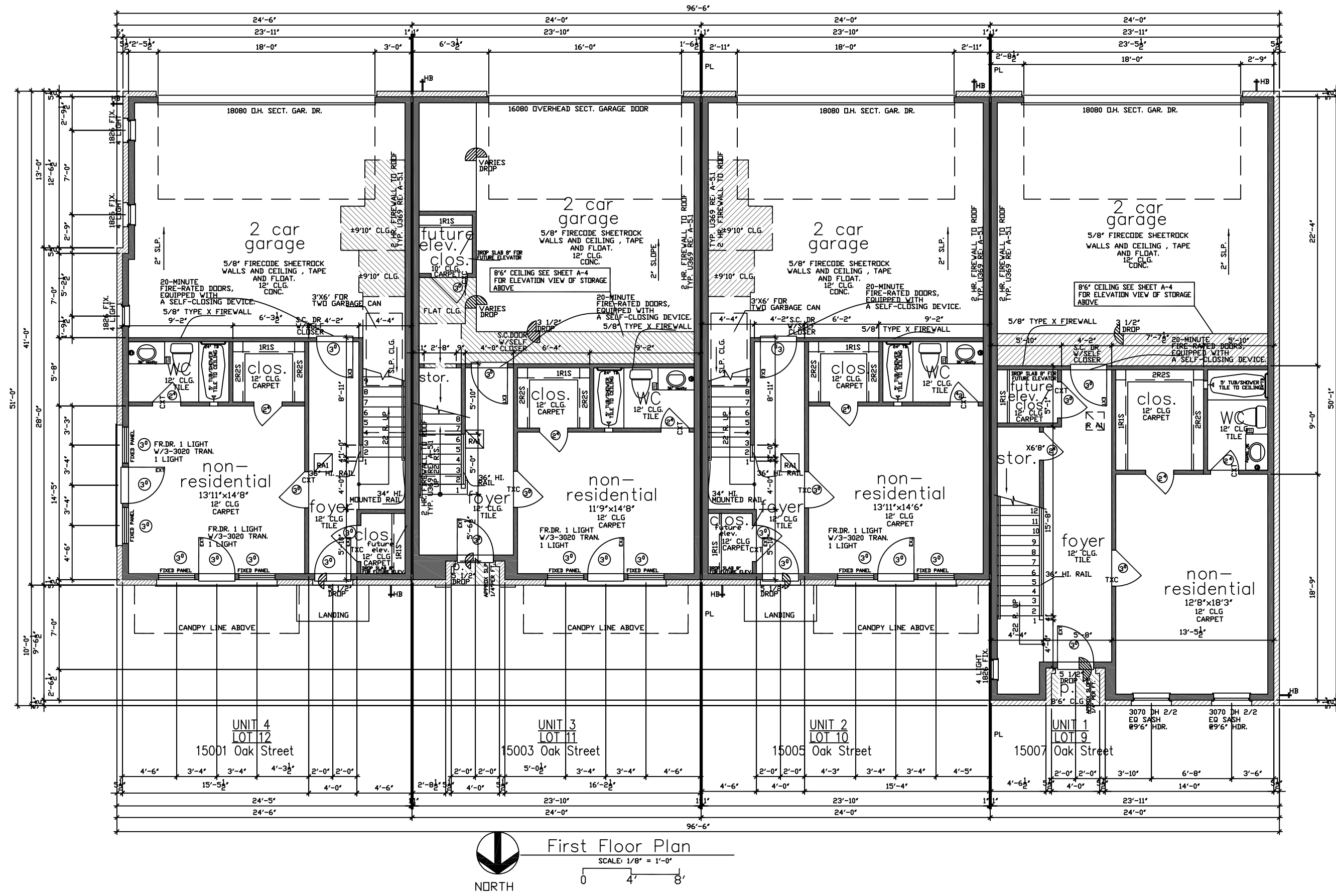
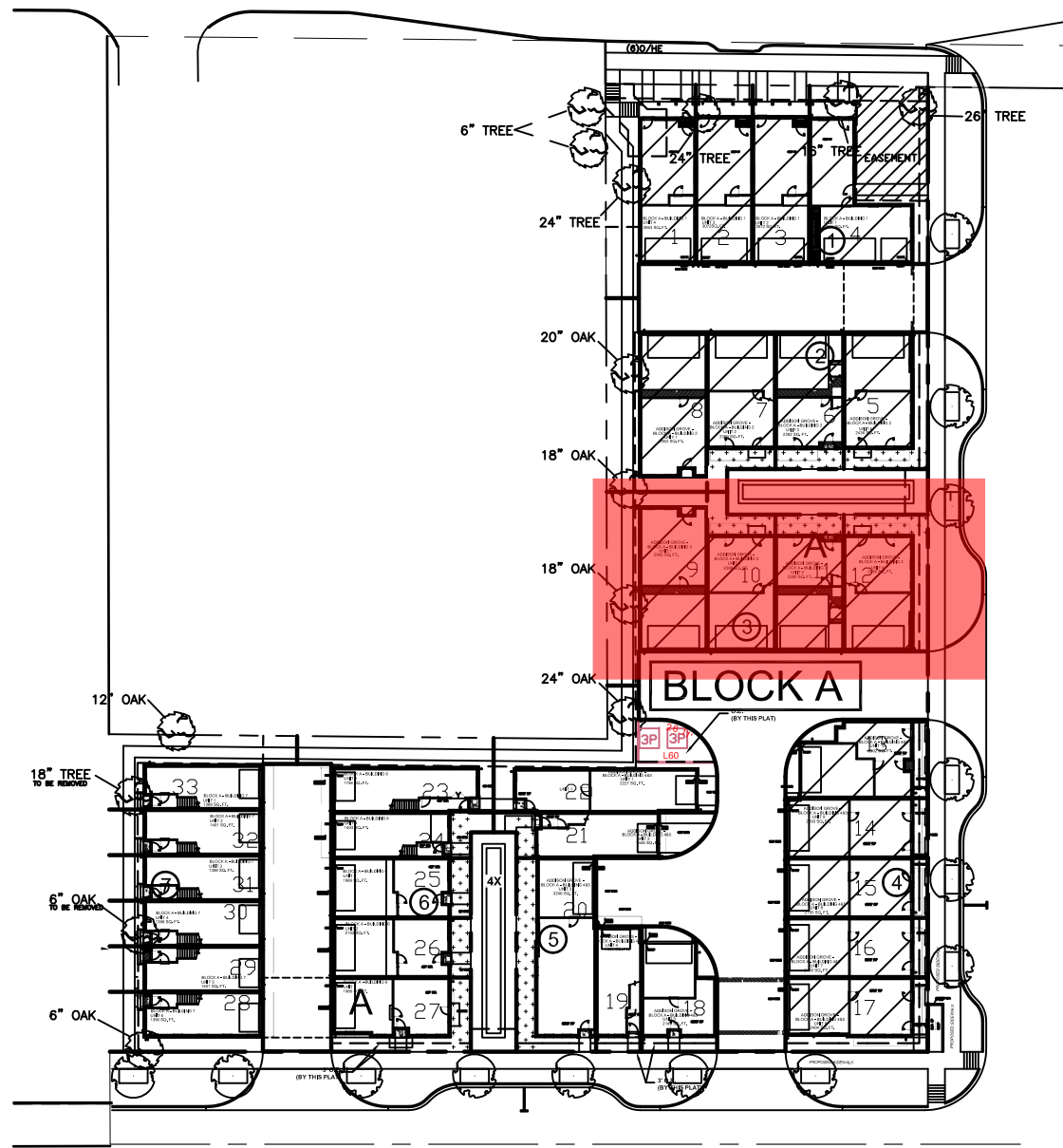


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 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877

PLAN NO.

UNIT 1	2963
UNIT 2	2399
UNIT 3	2282
UNIT 4	2436

SHEET NO.
A3.4



NOTE :
OUTSIDE NOISE LEVELS, MEASURED WITHIN
THE HABITABLE SPACE OF THE UNITS,
WILL NOT EXCEED 45 DNL.

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2963	2
UNIT 2	2399	2
UNIT 3	2282	2
UNIT 4	2436	2

unit1 square footage

FIRST FLOOR	864
SECOND FLOOR	1039
THIRD FLOOR	1066
TOTAL LIVING AREA	2963
GARAGE	547
PORCH	11
BALCONY	85
TOTAL SLAB AREA	1214

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z763-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

unit2 square footage

FIRST FLOOR	493
SECOND FLOOR	904
THIRD FLOOR	902
TOTAL LIVING AREA	2399
GARAGE	491
PORCH	0
BALCONY	0
TOTAL SLAB AREA	984

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z763-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

unit3 square footage

FIRST FLOOR	427
SECOND FLOOR	936
THIRD FLOOR	920
TOTAL LIVING AREA	2282
GARAGE	543
PORCH	0
BALCONY	50
TOTAL SLAB AREA	984

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z763-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

unit4 square footage

FIRST FLOOR	508
SECOND FLOOR	998
THIRD FLOOR	930
TOTAL LIVING AREA	2436
GARAGE	496
PORCH	0
BALCONY	0
TOTAL SLAB AREA	998

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z763-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

ADDISON GROVE

URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK A - BUILDING 3 FLOOR PLAN

PLAN NO.

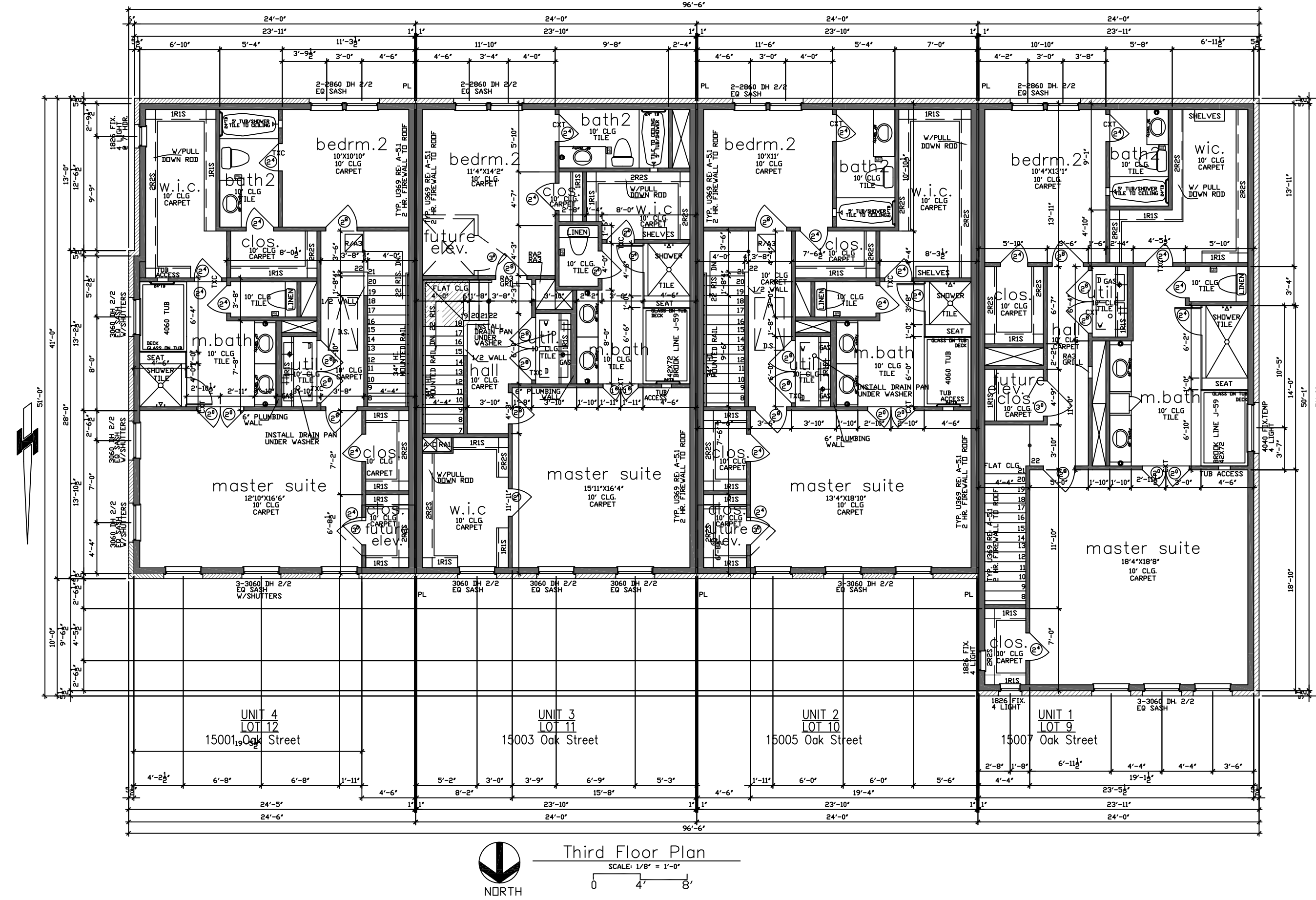
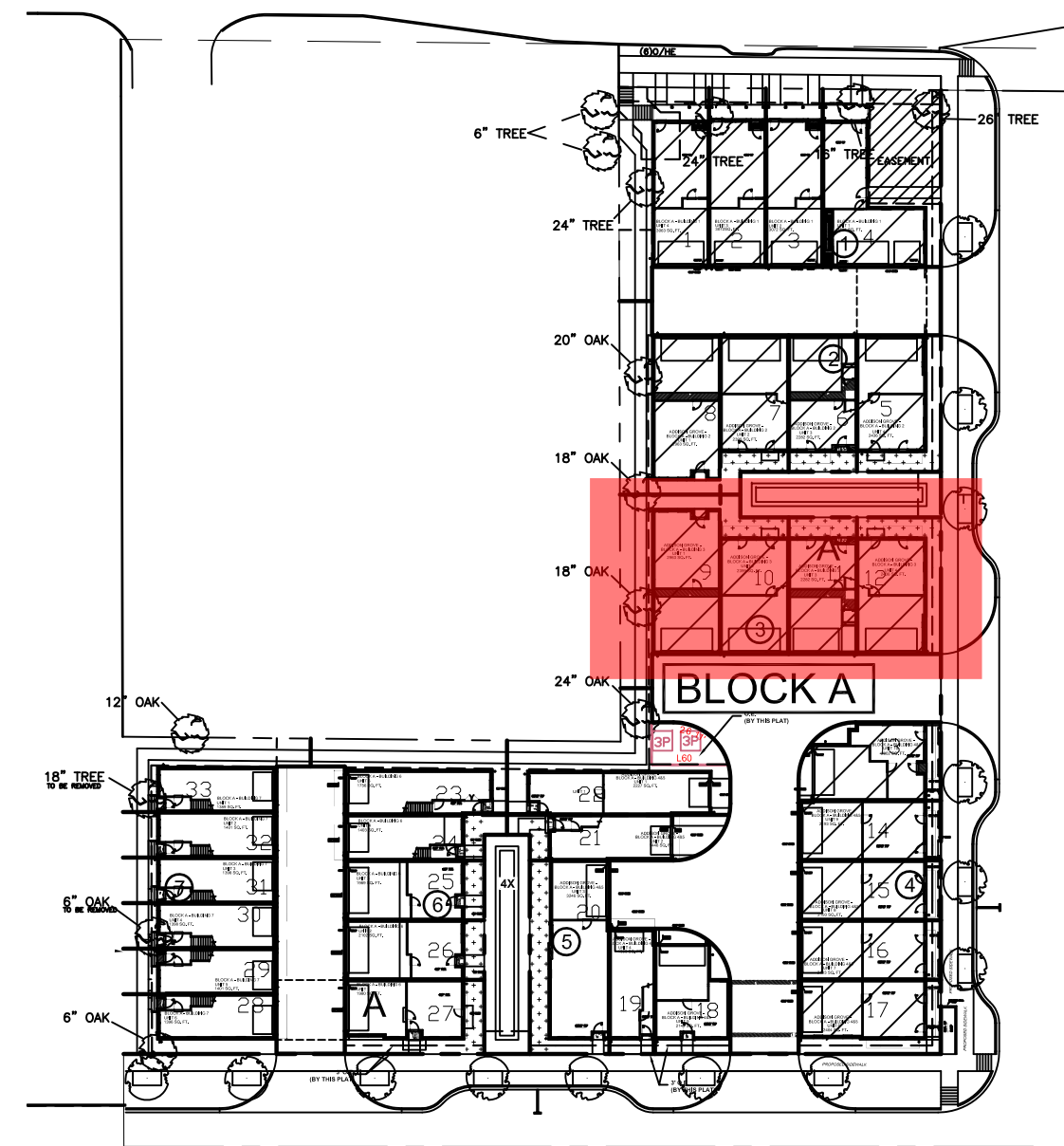
UNIT 1	2963
UNIT 2	2399
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UNIT 4	2436

SHEET NO.

A-2.1

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ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 3

FLOOR PLAN

URBAN INTOWN HOMES, Ltd.

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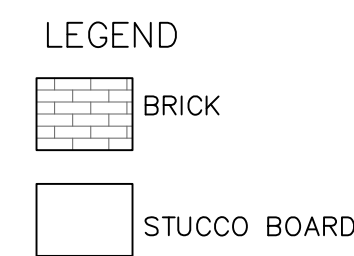
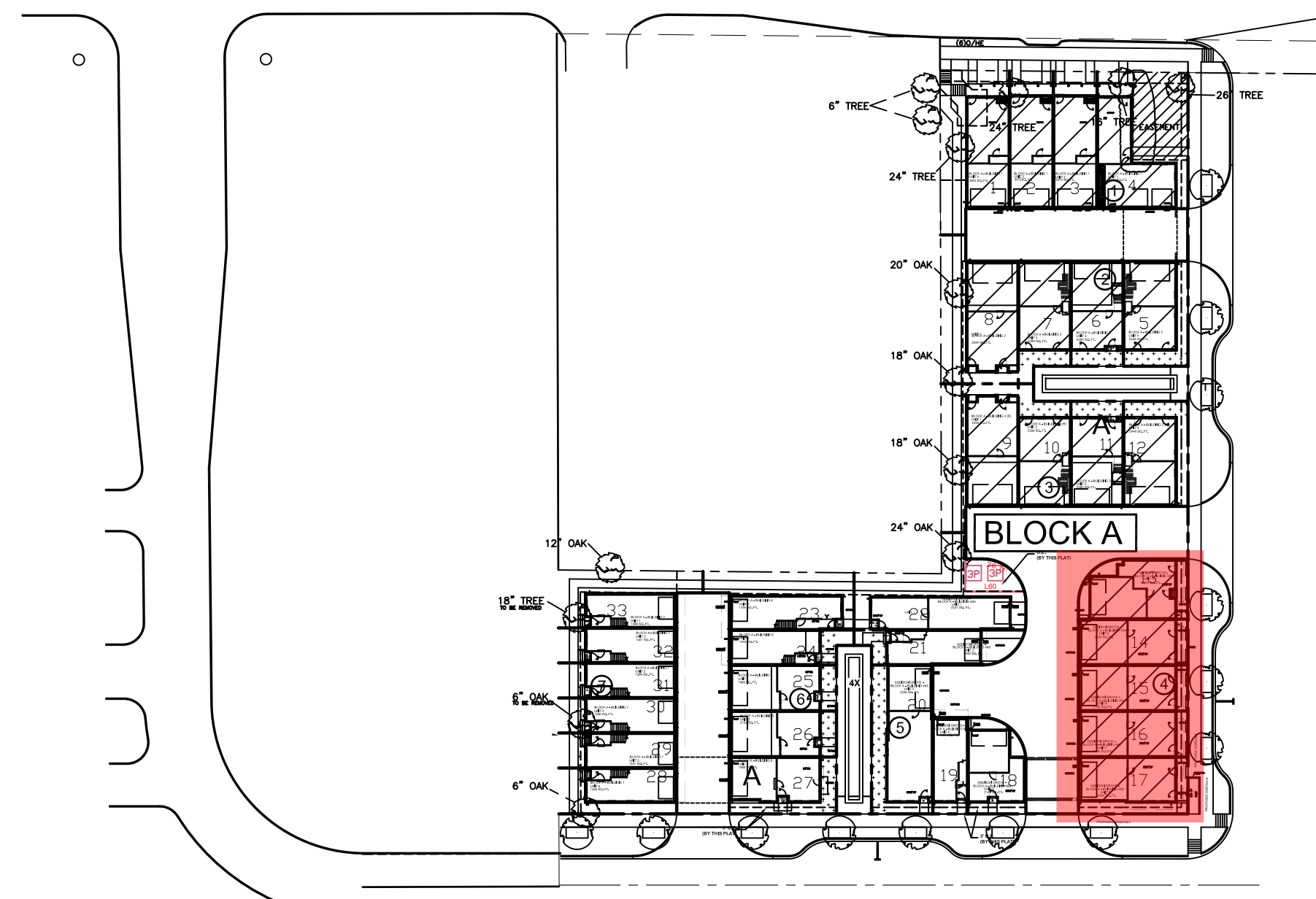
PLAN NO.

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SHEET NO.
A2.2

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07/11/2019

URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

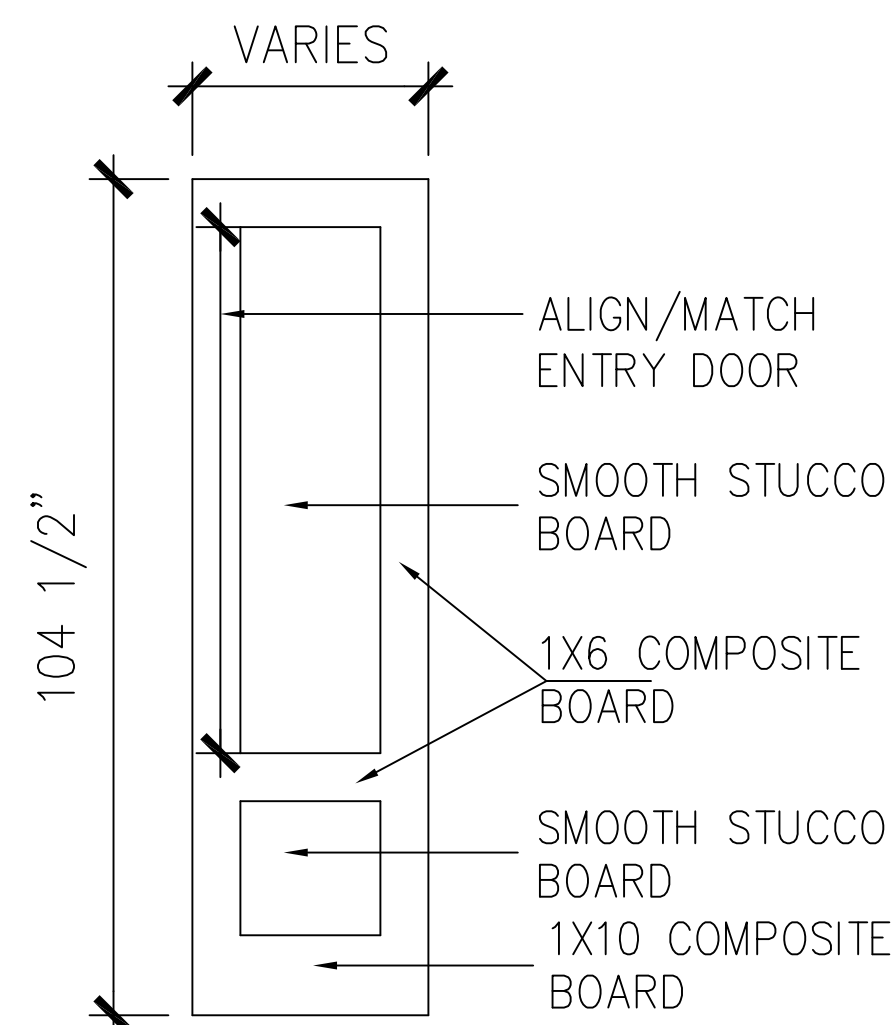
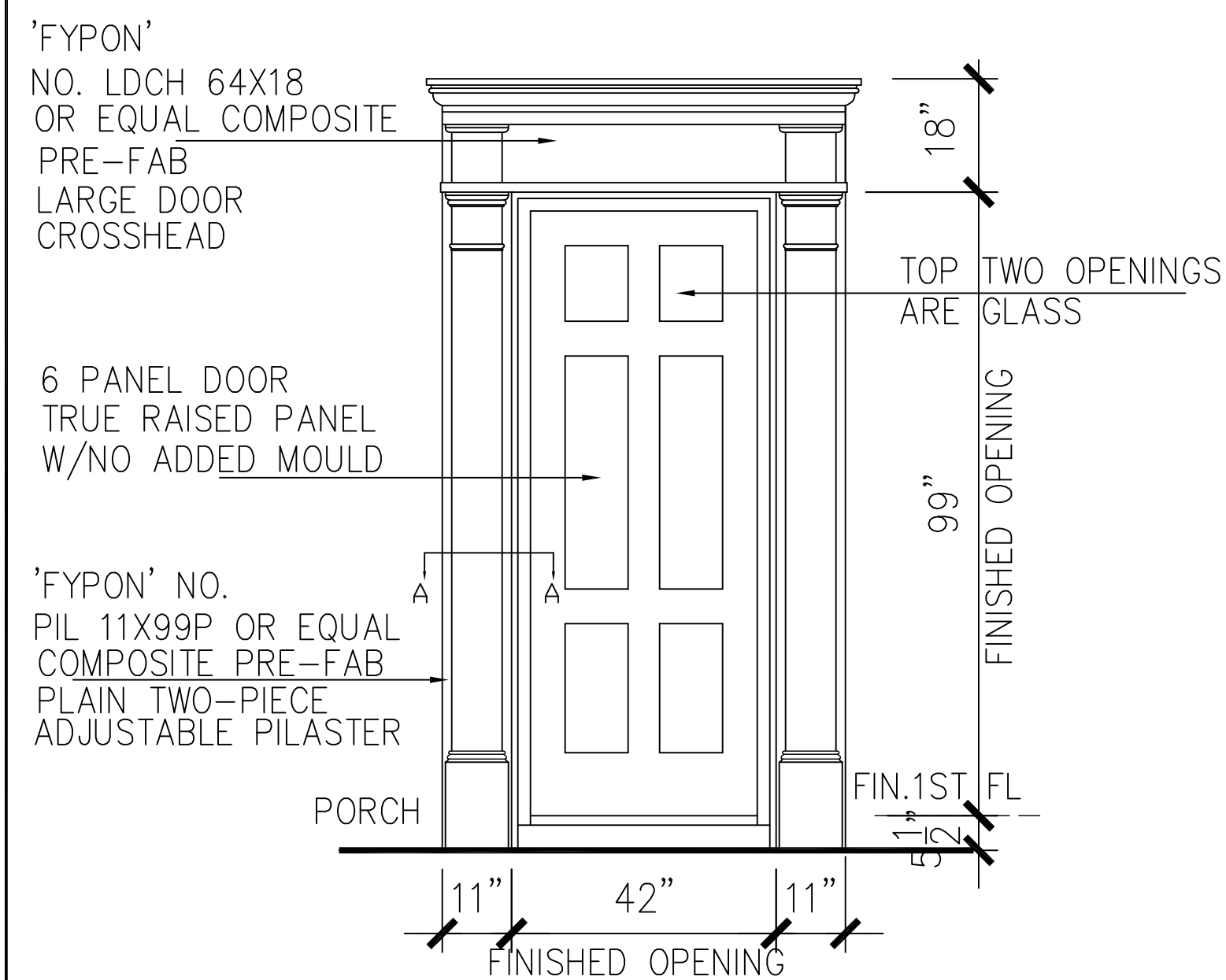
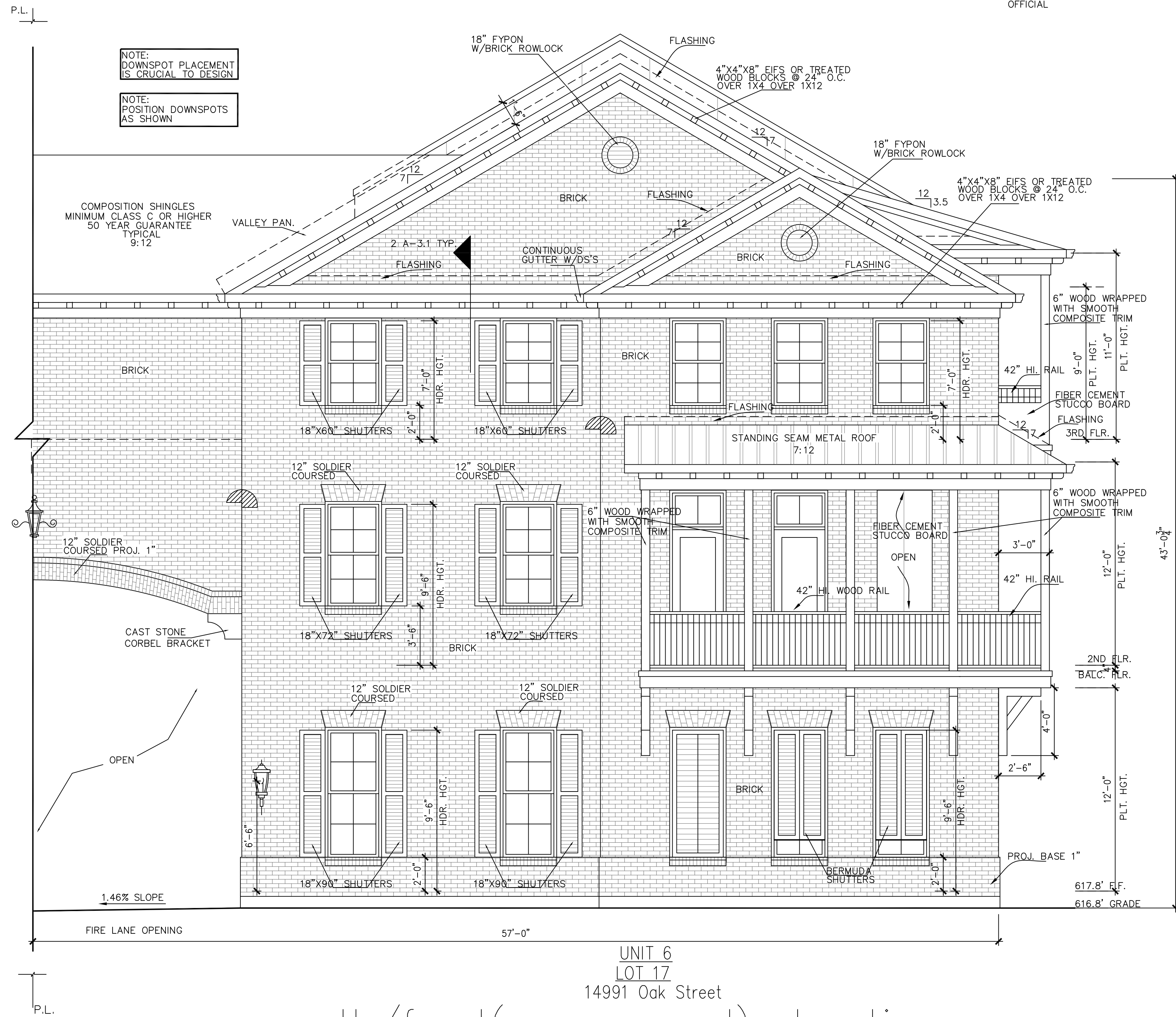
UNIT 6
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS

NORTH/FRONT ELEVATION

MATERIAL CALCULATION TABLE		
BRICK	1428	97.3%
STUCCO BOARD	40	2.7%
GLAZING	466	24.1%
TOTAL SURFACE AREA	1934	

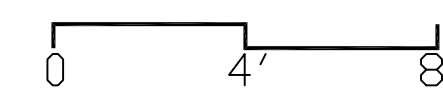
FACADE PLAN NOTES

- * THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
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UNIT 6
LOT 17
14991 Oak Street
south/front(runyon road) elevation

SCALE: 1/4" = 1'-0"



URBANINTOWNHOMES
1520 OLIVER STREET, HOUSTON, TX 77007
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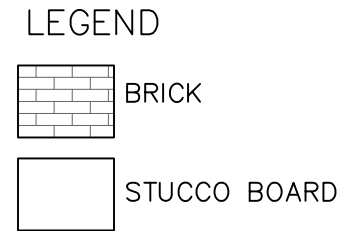
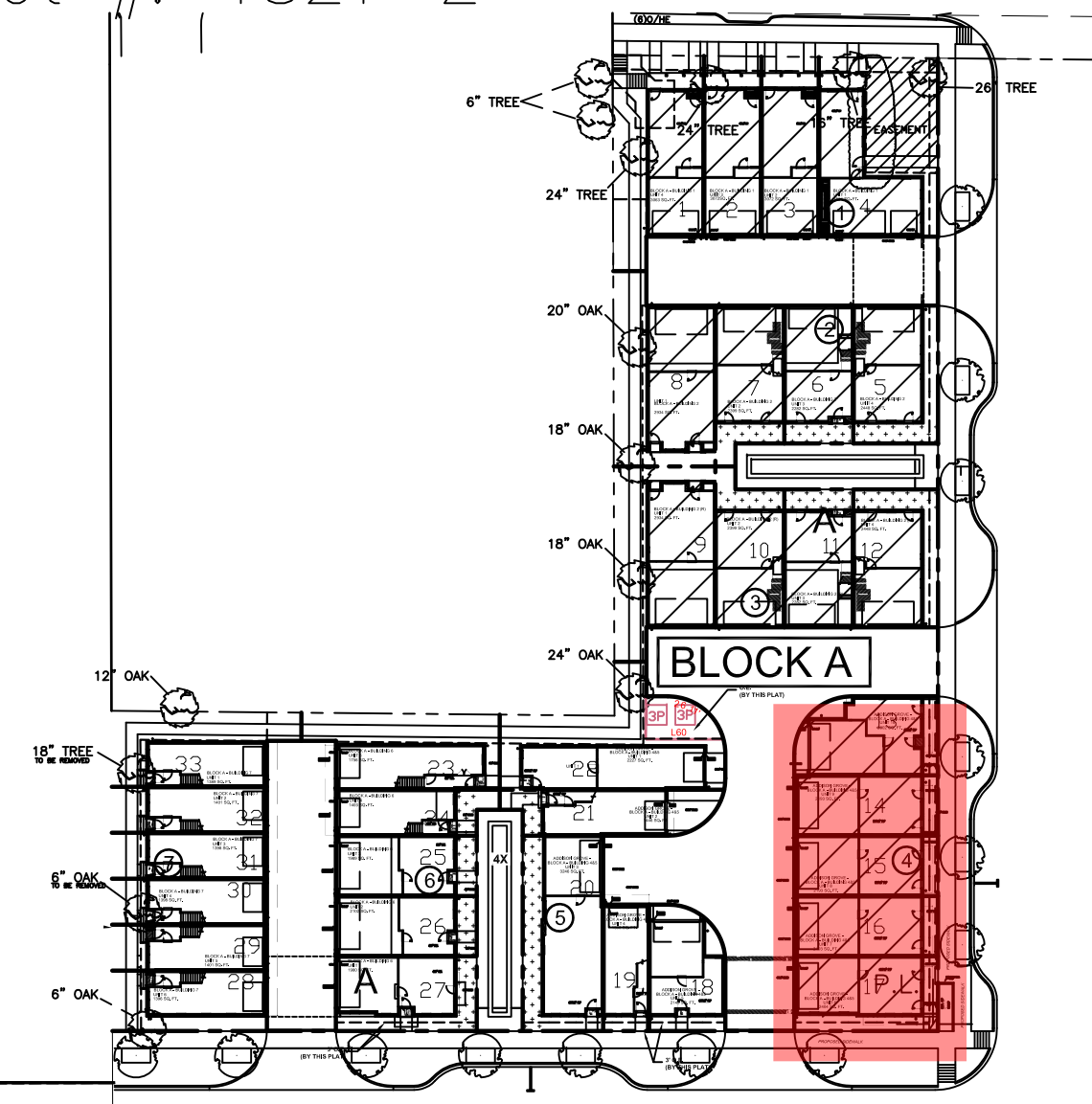
ADDISON GROVE - BLOCK A - BUILDING 4
SOUTH / FRONT ELEVATION

PLAN NO.

UNIT 1	2227
UNIT 2	1446
UNIT 3	3246
UNIT 4	1350
UNIT 5	2149
UNIT 6	2382
UNIT 7	2167
UNIT 8	2167
UNIT 9	2167
UNIT 10	2302

SHEET NO.
A-3.1

URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

- COMPOSITION SHINGLES TYPICAL ROOF
- METAL CLAD WOOD WINDOWS
- 42" HI. RAIL
- 4X4X8 WOOD OF EIFS BLOCKS

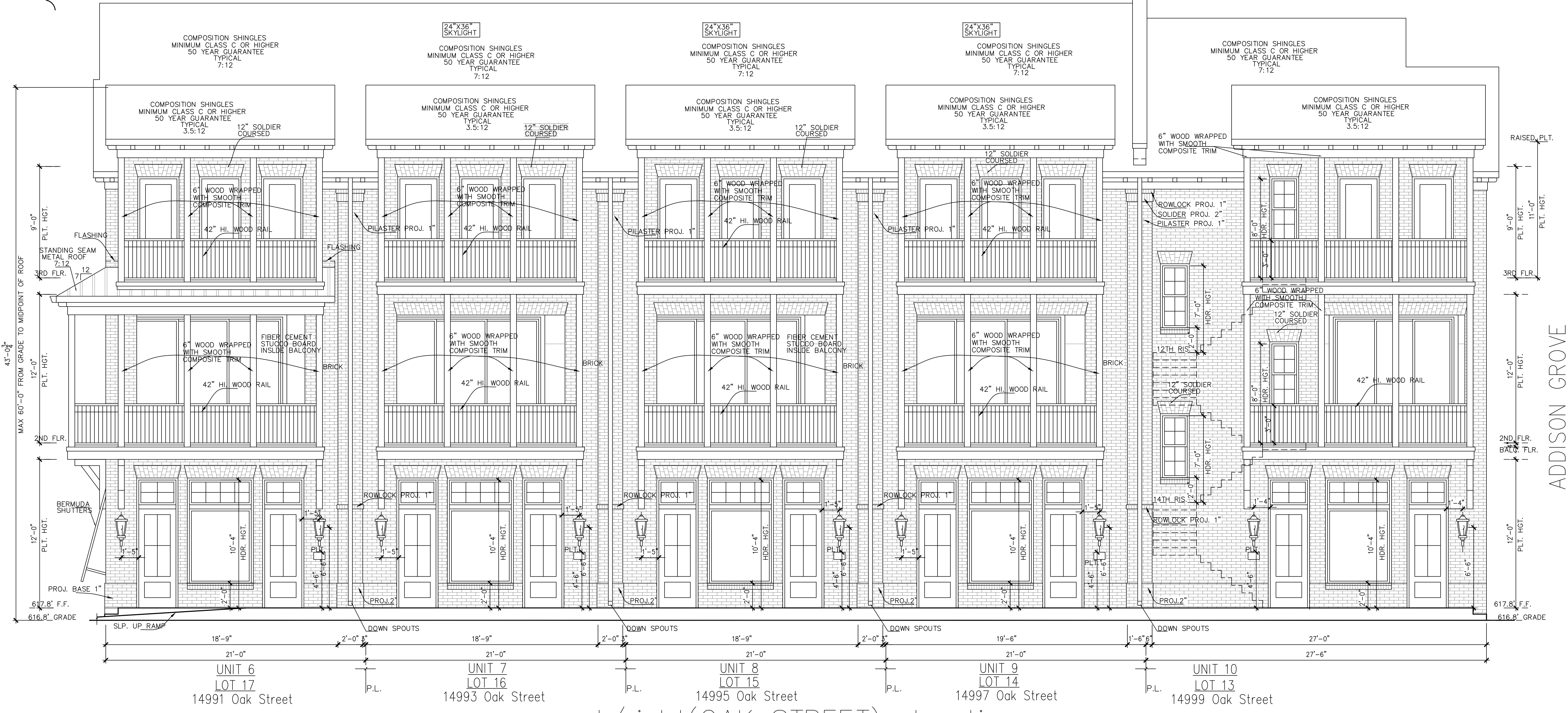
EAST/RIGHT ELEVATION

MATERIAL CALCULATION TABLE

STUCCO BOARD	114	4.8%
BRICK	2275	95.2%
GLAZING	1596	40.1%
TOTAL SURFACE AREA	3985	

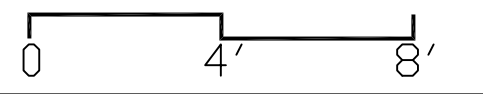
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east/right(OAK STREET) elevation

SCALE: 1/4" = 1'-0"



URBANINTOWNHOMES

ADDISON GROVE - BLOCK A - BUILDING 4

EAST / RIGHT ELEVATION

PLAN NO.

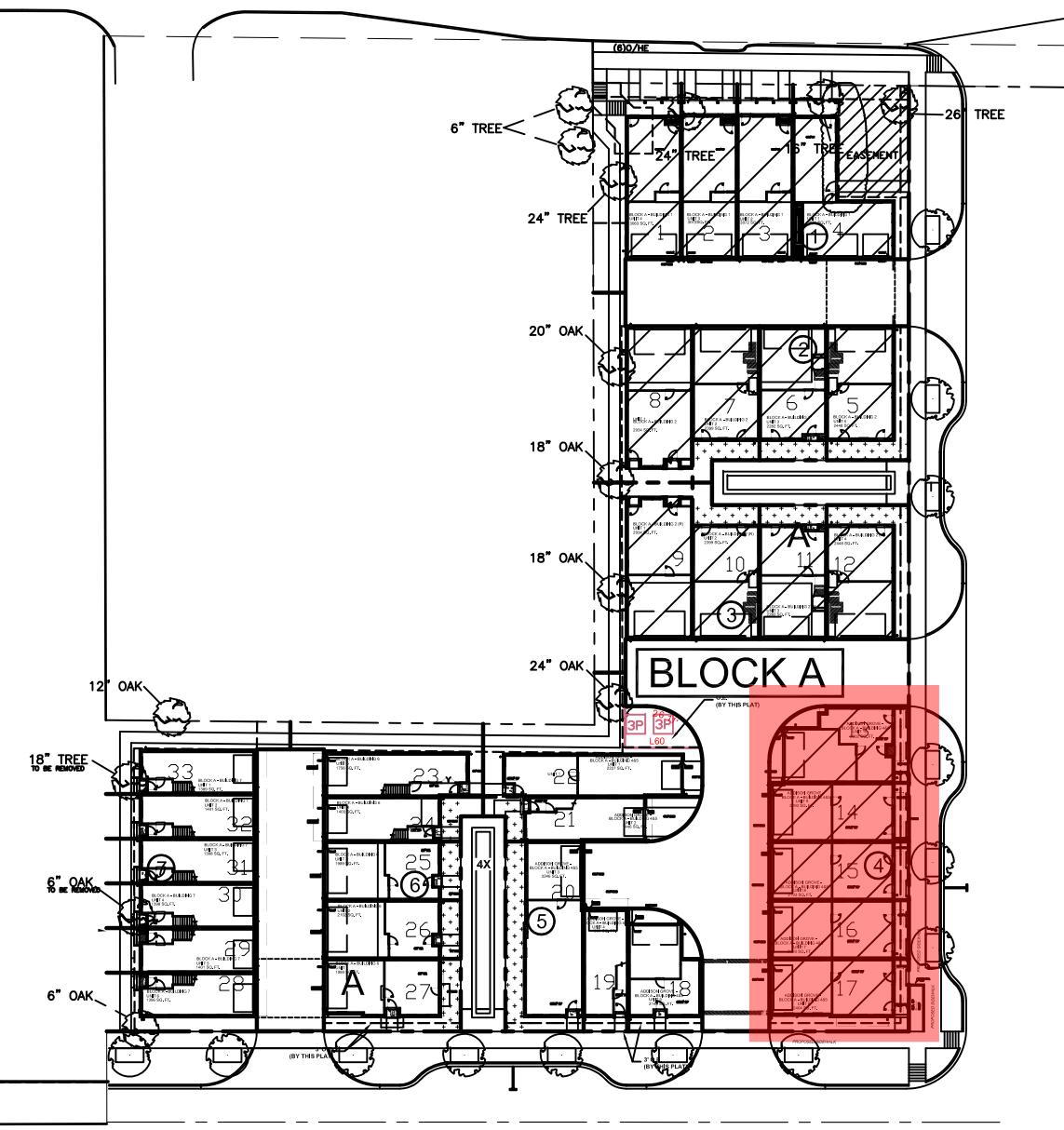
UNIT 1	2227
UNIT 2	1446
UNIT 3	3246
UNIT 4	1350
UNIT 5	2149
UNIT 6	2382
UNIT 7	2167
UNIT 8	2167
UNIT 9	2167
UNIT 10	2302

SHEET NO.

A-3.2

Drawn/Checked By: J.O./P.W.
 Original Date Issued: 09/11/2019
 Scale: 1/4" = 1'-0"
 Last Updated: 08/18/2020

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LEGEND



ADDITIONAL BUILDING MATERIALS

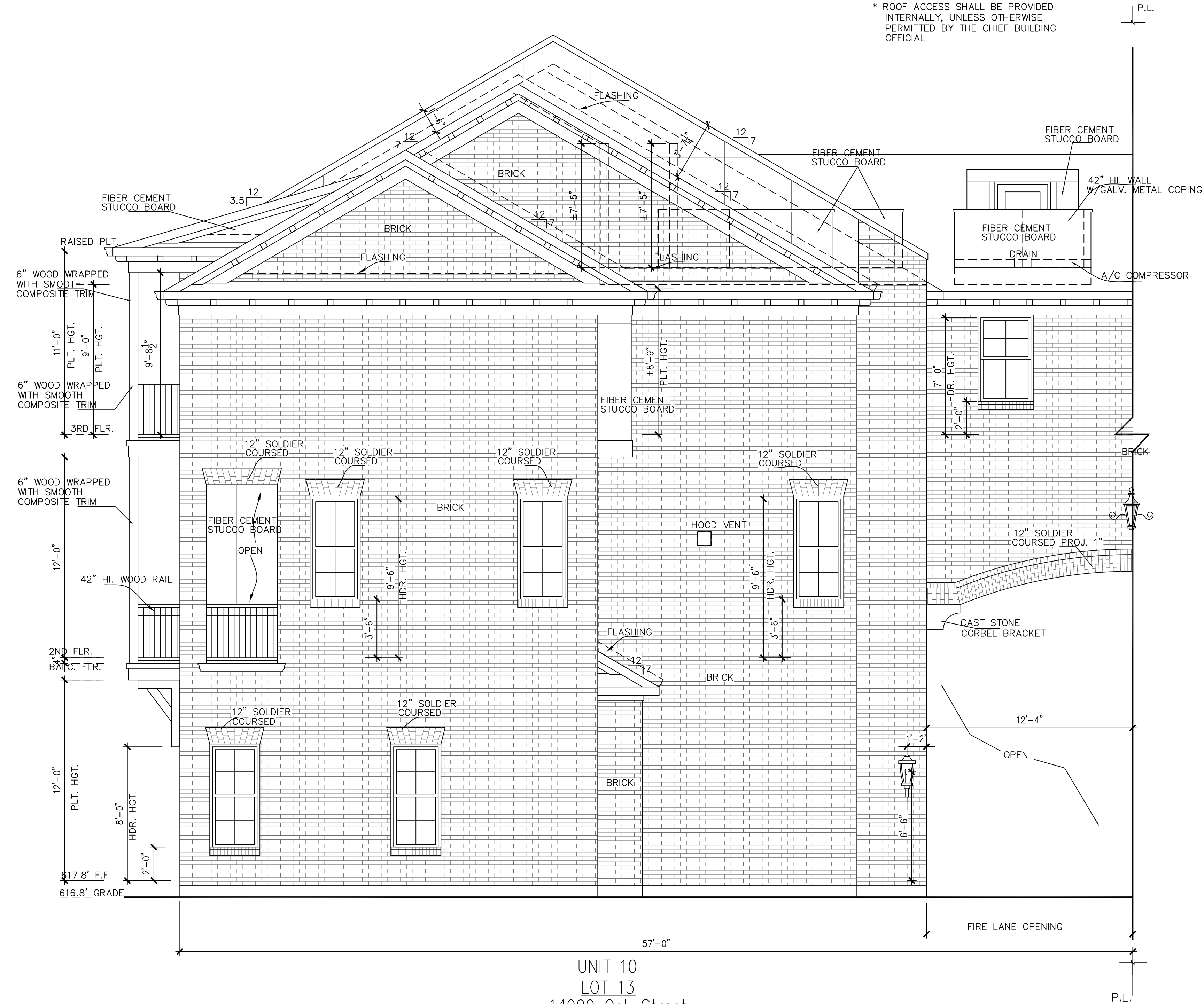
COMPOSITION SHINGLES TYPICAL ROOF
 METAL CLAD WOOD WINDOWS
 42" HI. RAIL
 4X4X8 WOOD OF EIFS BLOCKS

NORTH/REAR ELEVATION

MATERIAL CALCULATION TABLE		
BRICK	1726	90.6%
STUCCO BOARD	179	9.4%
GLAZING	118	5.8%
TOTAL SURFACE AREA	2023	

FAÇADE PLAN NOTES

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UNIT 10
 LOT 13
 14999 Oak Street
 north/rear/alley elevation
 SCALE: 1/4" = 1'-0"
 0 4' 8'

Drawn/Checked By: J.O./P.W.
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 Scale: 1/4" = 1'-0"
 Last Updated: 08/18/2020

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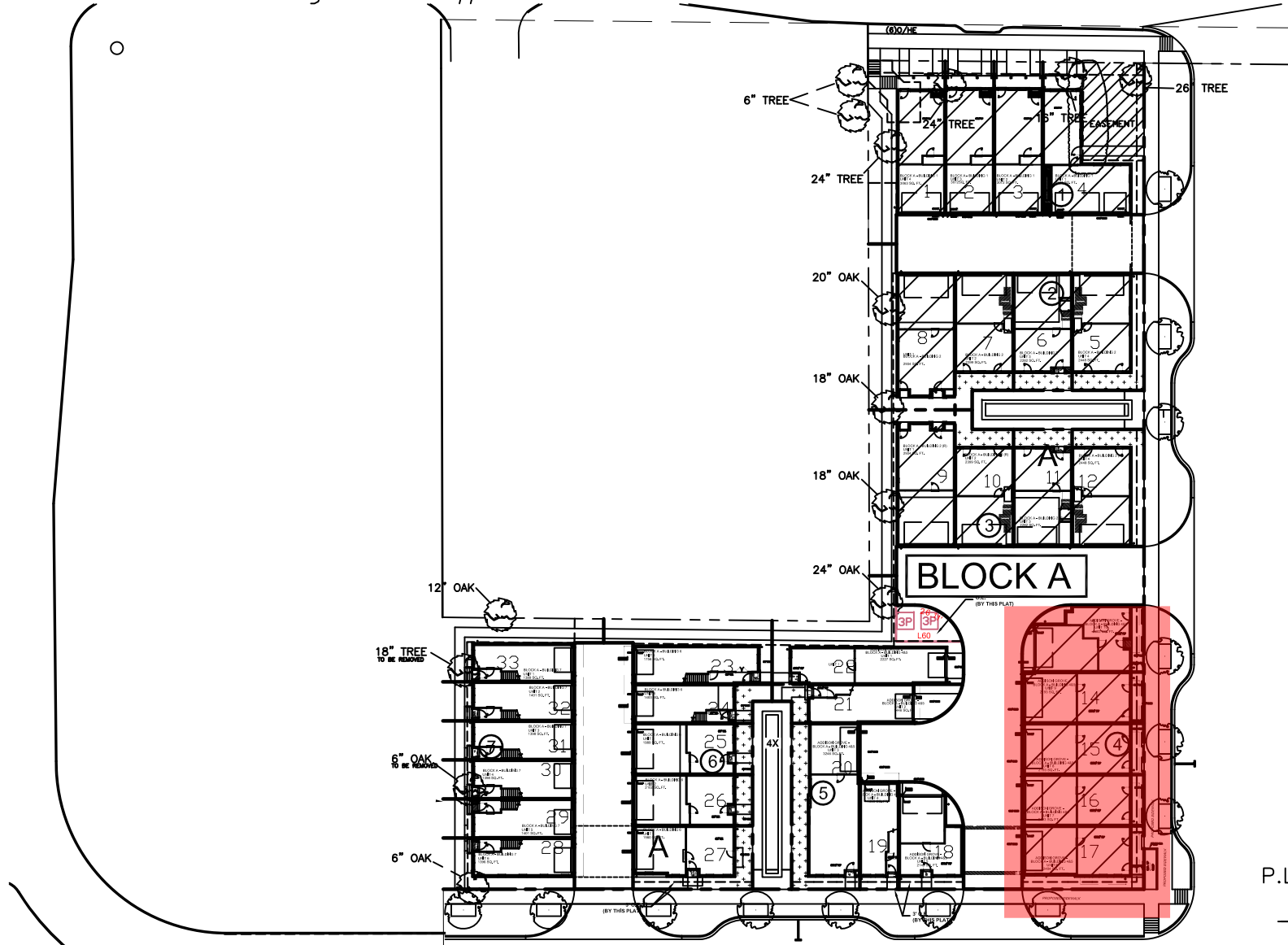
ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 4
 NORTH / REAR ELEVATION

PLAN NO.	UNIT NO.
2227	UNIT 1
1446	UNIT 2
3246	UNIT 3
1350	UNIT 4
2149	UNIT 5
2382	UNIT 6
2167	UNIT 7
2167	UNIT 8
2167	UNIT 9
2302	UNIT 10

SHEET NO.
A-3.3

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877



LEGEND

	BRICK
	STUCCO BOARD

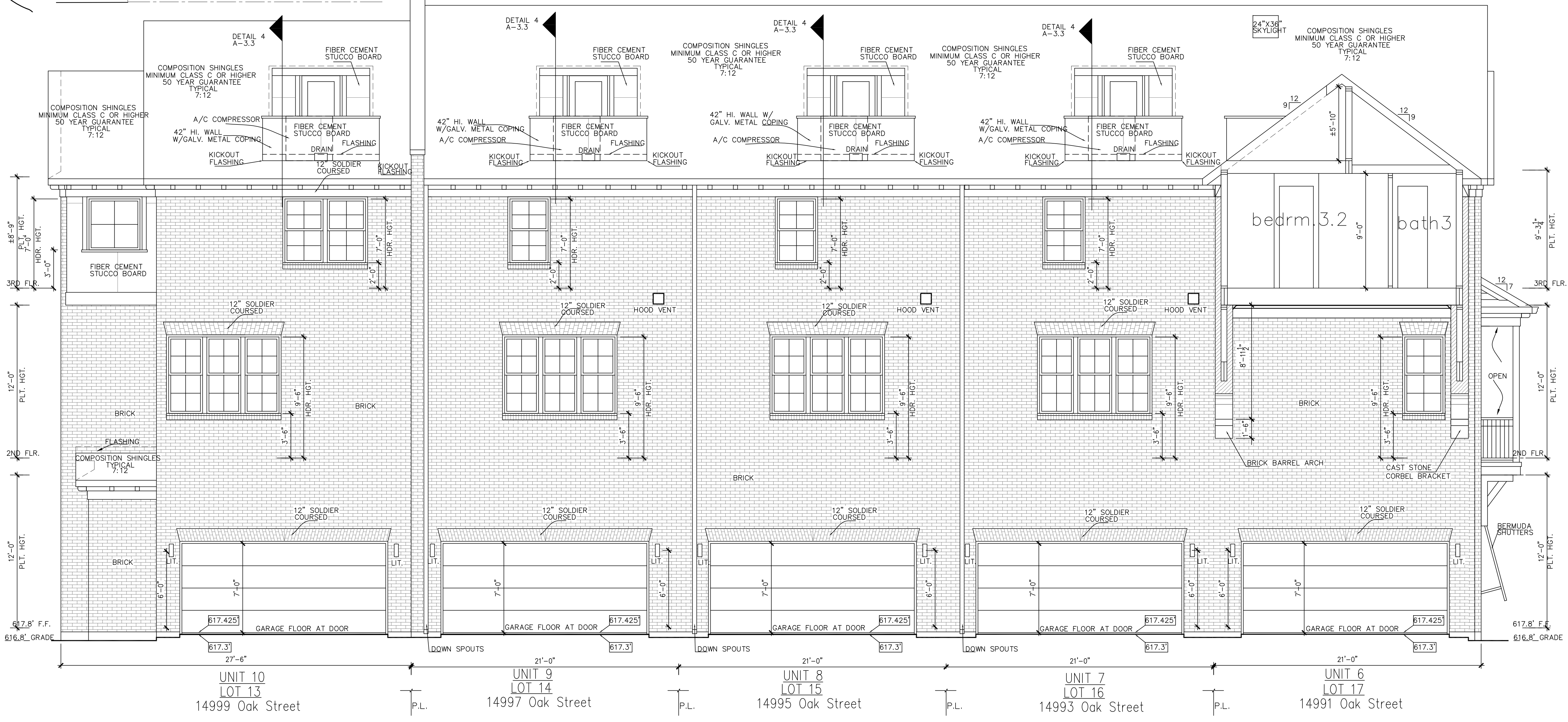
WEST/LEFT ELEVATION

MATERIAL CALCULATION TABLE	
BRICK	2448 91.6%
STUCCO BOARD	225 8.4%
GLAZING	388 12.7%
TOTAL SURFACE AREA	3061

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ADDITIONAL BUILDING MATERIALS

COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS



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ADDISON GROVE - BLOCK A - BUILDING 4
WEST / LEFT ELEVATION

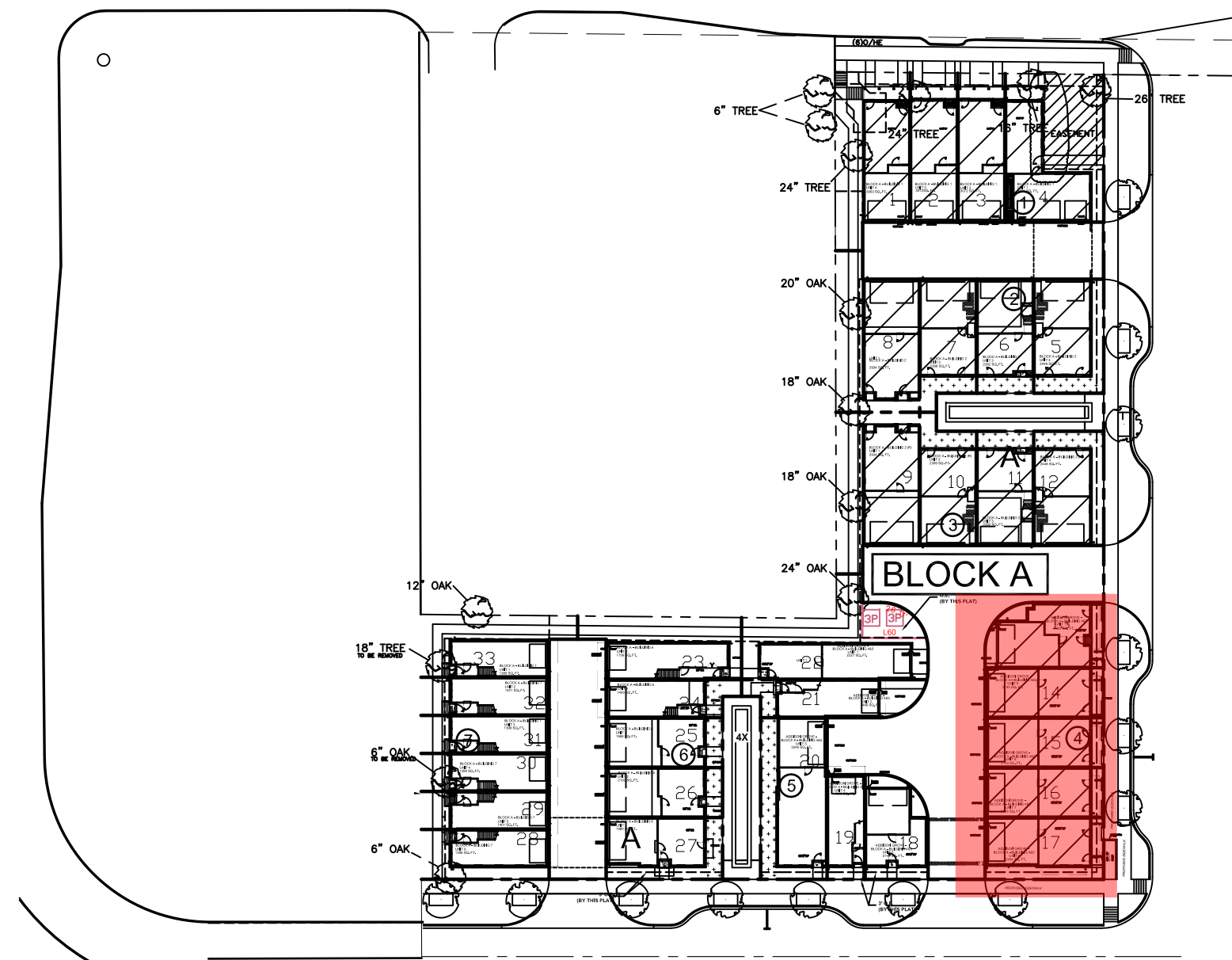
PLAN NO.

UNIT 1	2227
UNIT 2	1446
UNIT 3	3246
UNIT 4	1350
UNIT 5	2149
UNIT 6	2382
UNIT 7	2167
UNIT 8	2167
UNIT 9	2167
UNIT 10	2302

SHEET NO.
A-3.4

west/left(court yard)elevation
SCALE: 1/4" = 1'-0"
0 4' 8'

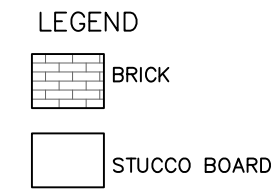
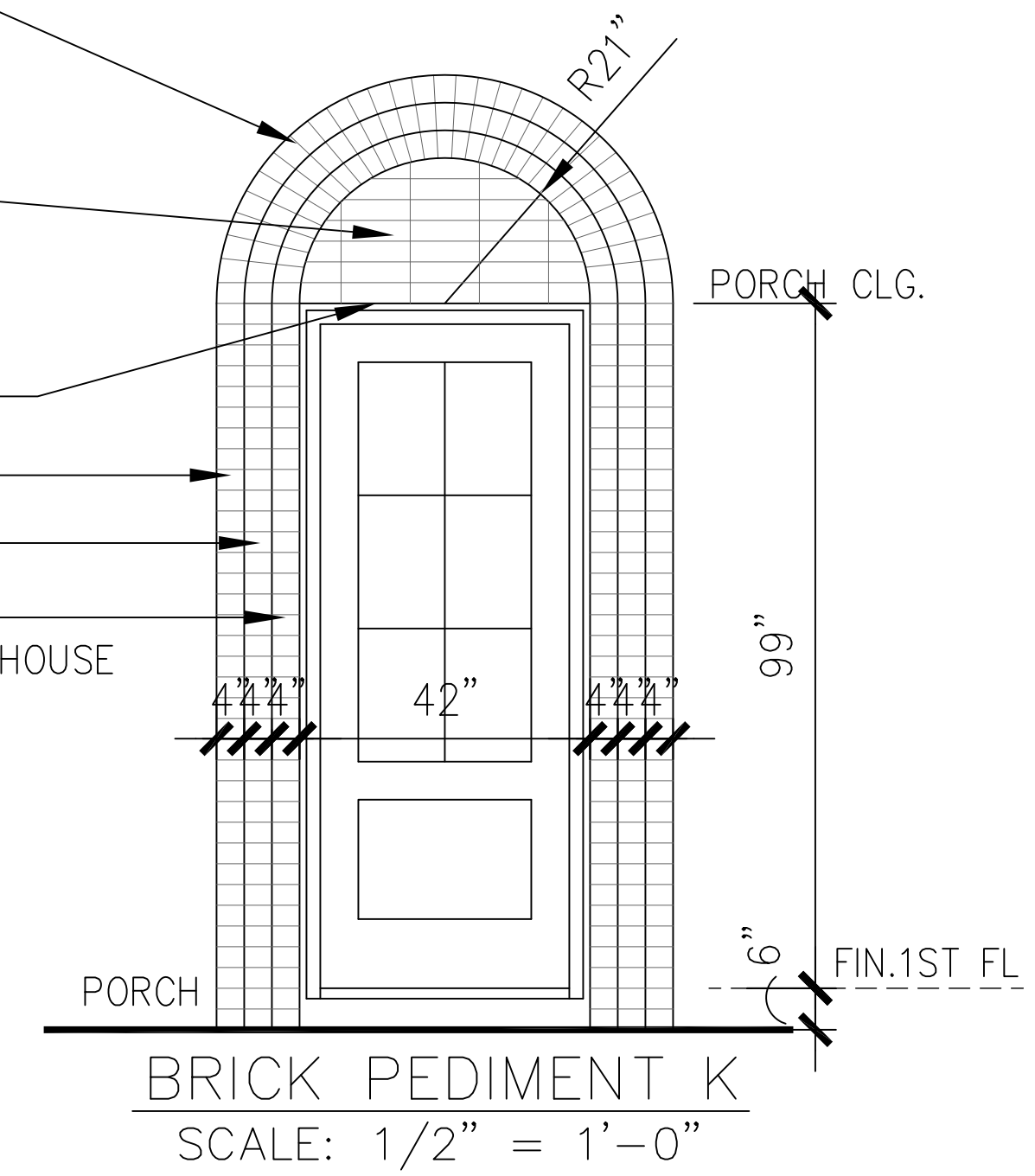
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PHONE: 713-961-3877



NOTE: ALL PROJECTIONS & RECESSES ARE TAKEN FROM THE STANDARD BRICK WALL ON HOUSE

BRICK STACK BOND RECESS 1" BACK FROM MAIN BRICK WALL

FLAT STUCCO CEILING
 BRICK ROWLOCK PROJ. 3"
 BRICK ROWLOCK PROJ. 2"
 BRICK ROWLOCK PROJ. 1"
 NOT FLUSH WITH BRICK ON HOUSE



ADDITIONAL BUILDING MATERIALS

- UNIT 3 COMPOSITE PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 4 BRICK PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 5 COMPOSITE PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 6 COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS

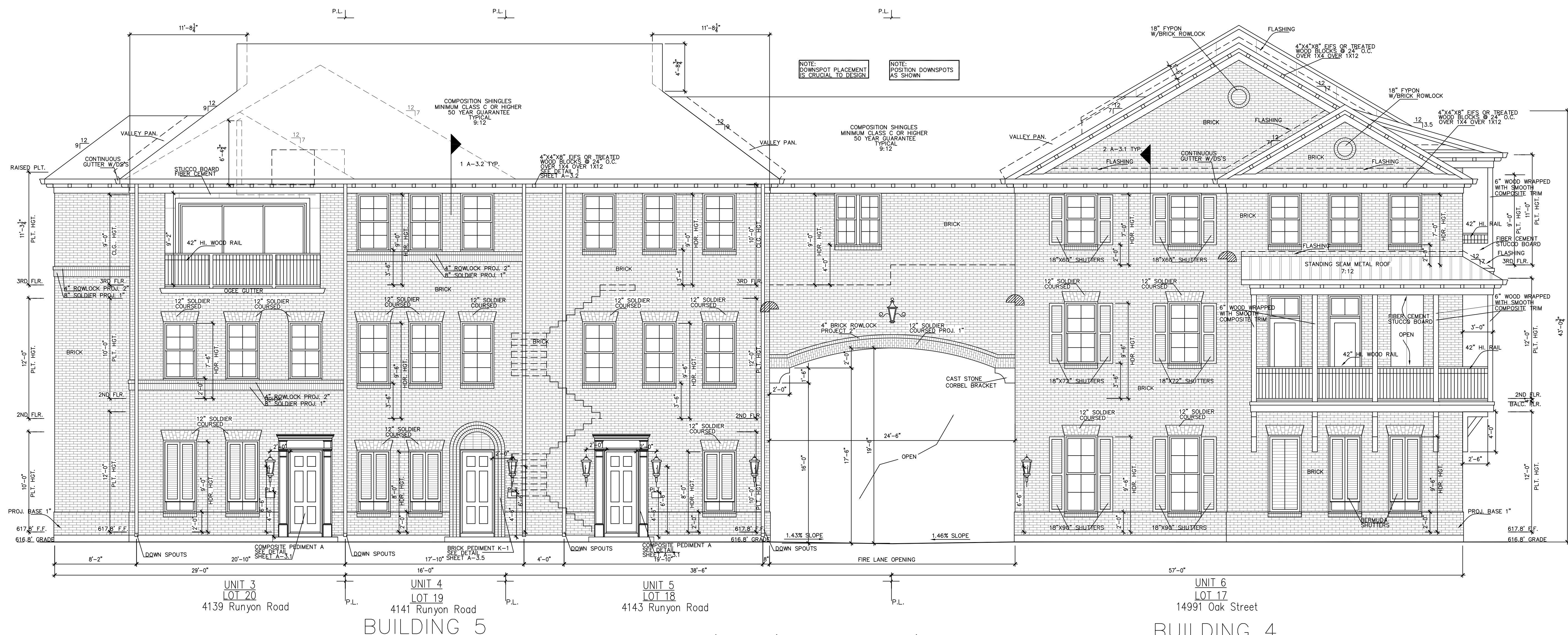
NORTH / FRONT ELEVATION

MATERIAL CALCULATION TABLE		
BRICK	3563	97.8%
STUCCO BOARD	79	2.2%
GLAZING	840	18.7%
TOTAL SURFACE AREA	4482	

FAÇADE PLAN NOTES

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BRICK PEDIMENT K
 SCALE: 1/2" = 1'-0"



north/front(runyon road) elevation

SCALE: 3/16" = 1'-0"

URBANINTOWNHOMES

ADDISON GROVE - BLOCK A - BUILDING 4&5
 NORTH / FRONT ELEVATIONS

UNIT	PLAN NO.
UNIT 1	2227
UNIT 2	1446
UNIT 3	3248
UNIT 4	1350
UNIT 5	2149
UNIT 6	2382
UNIT 7	2167
UNIT 8	2167
UNIT 9	2167
UNIT 10	2302

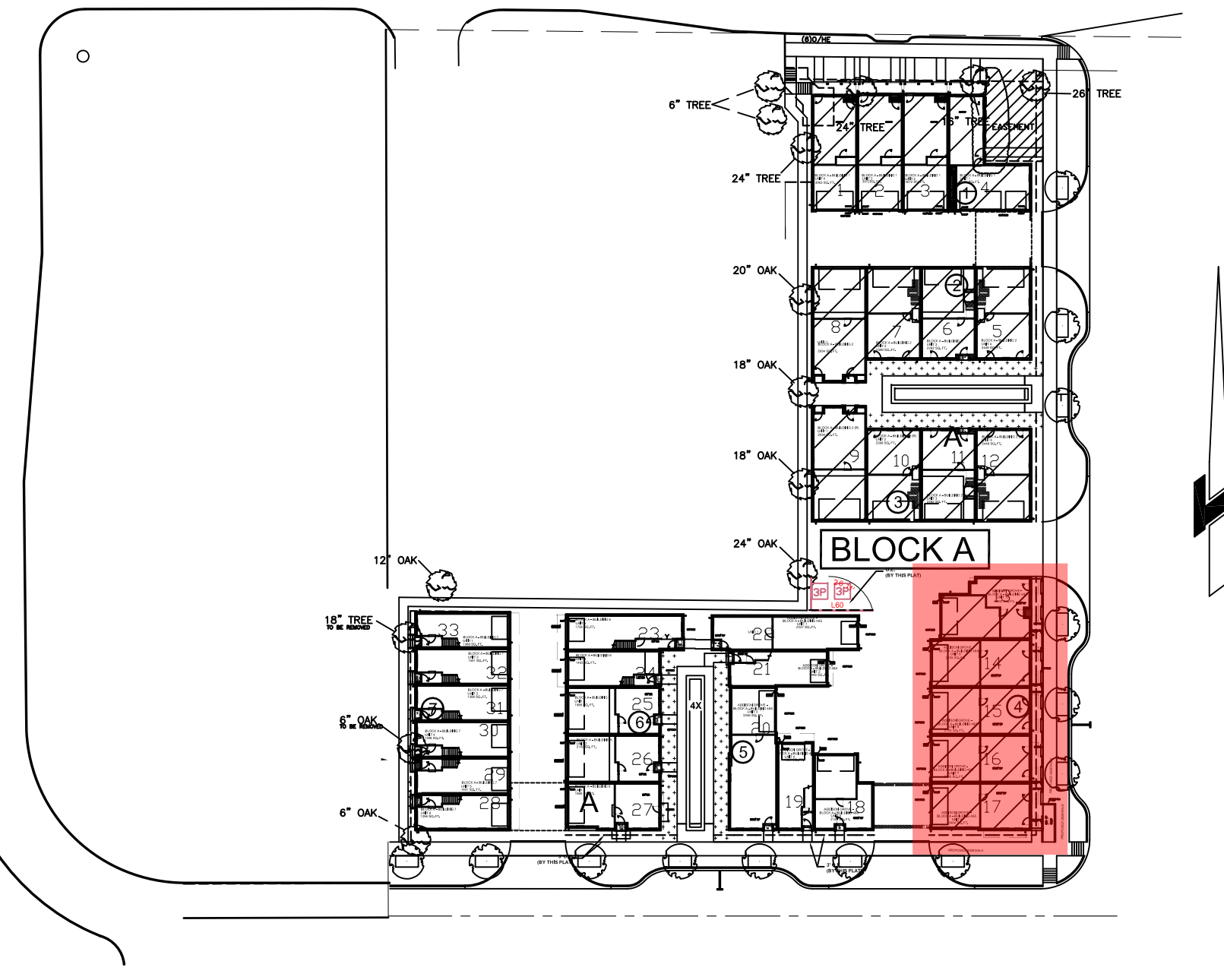
SHEET NO. A-3.5

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 PHONE: 713-961-3877

Drawn By/Checked By: J.C./P.W.
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 Scale: 3/16" = 1'-0"
 Last Updated: 08/18/2020

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PLAN NO.	UNIT
2227.1	UNIT 1
1446.4	UNIT 2
3246.1	UNIT 3
1350.6	UNIT 4
2149.2	UNIT 5
2382.3	UNIT 6
2167.3	UNIT 7
2167.4	UNIT 8
2167.5	UNIT 9
2302.2	UNIT 10



unit10 square footage

FIRST FLOOR	517
SECOND FLOOR	886
THIRD FLOOR	899
TOTAL LIVING AREA	2302
GARAGE	484
BALCONY	290
ROOF DECK	6
PORCH	11
AC DECK	196
TOTAL SLAB AREA	3102

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

unit7&8 square footage

FIRST FLOOR	464
SECOND FLOOR	888
THIRD FLOOR	817
TOTAL LIVING AREA	2167
GARAGE	474
BALCONY	291
ROOF DECK	6
PORCH	11
AC DECK	196
TOTAL SLAB AREA	3208

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

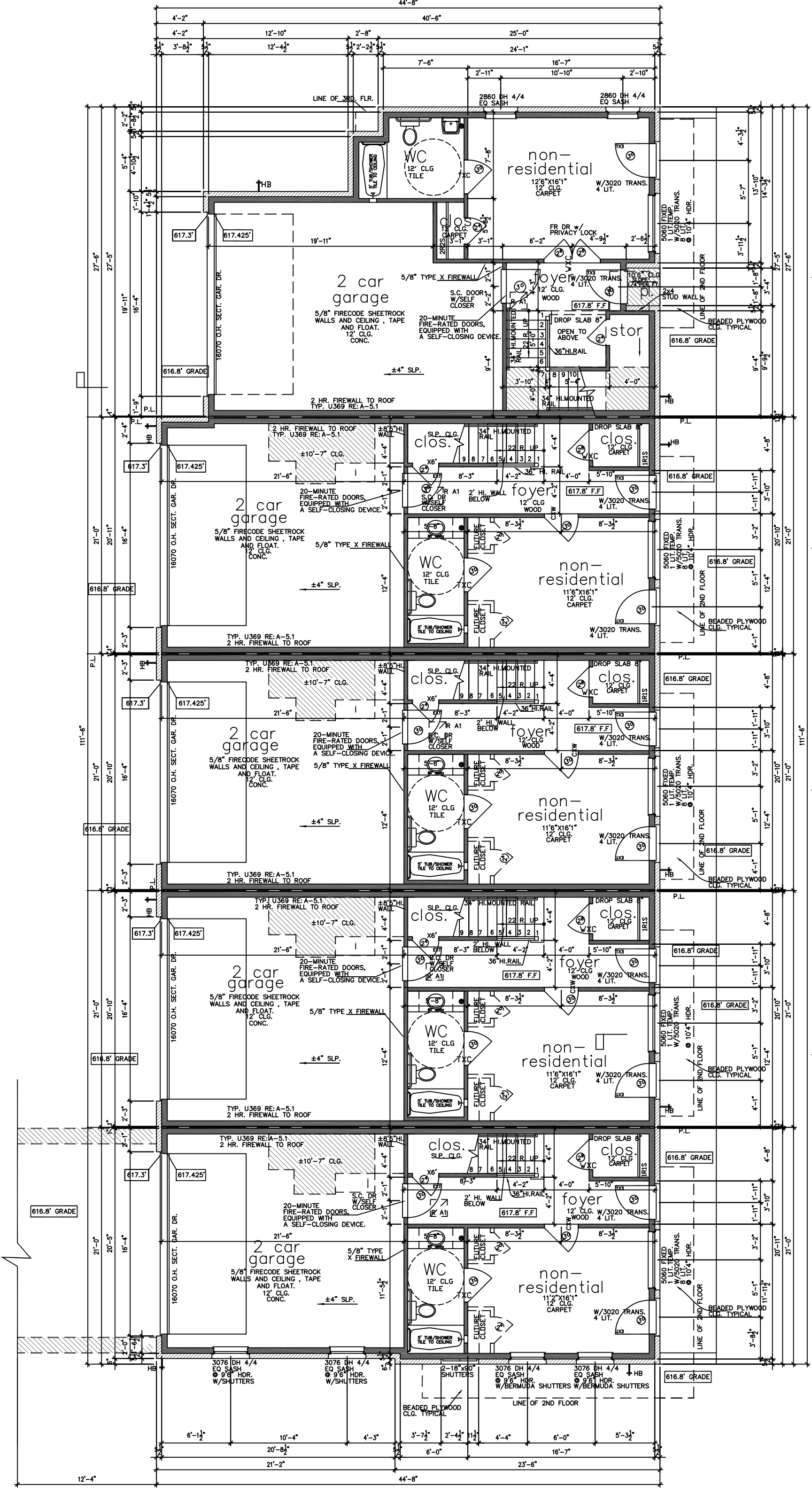
unit6 square footage

FIRST FLOOR	458
SECOND FLOOR	805
THIRD FLOOR	1108
TOTAL LIVING AREA	2382
GARAGE	472
BALCONY	277
ROOF DECK	71
TOTAL SLAB AREA	3267

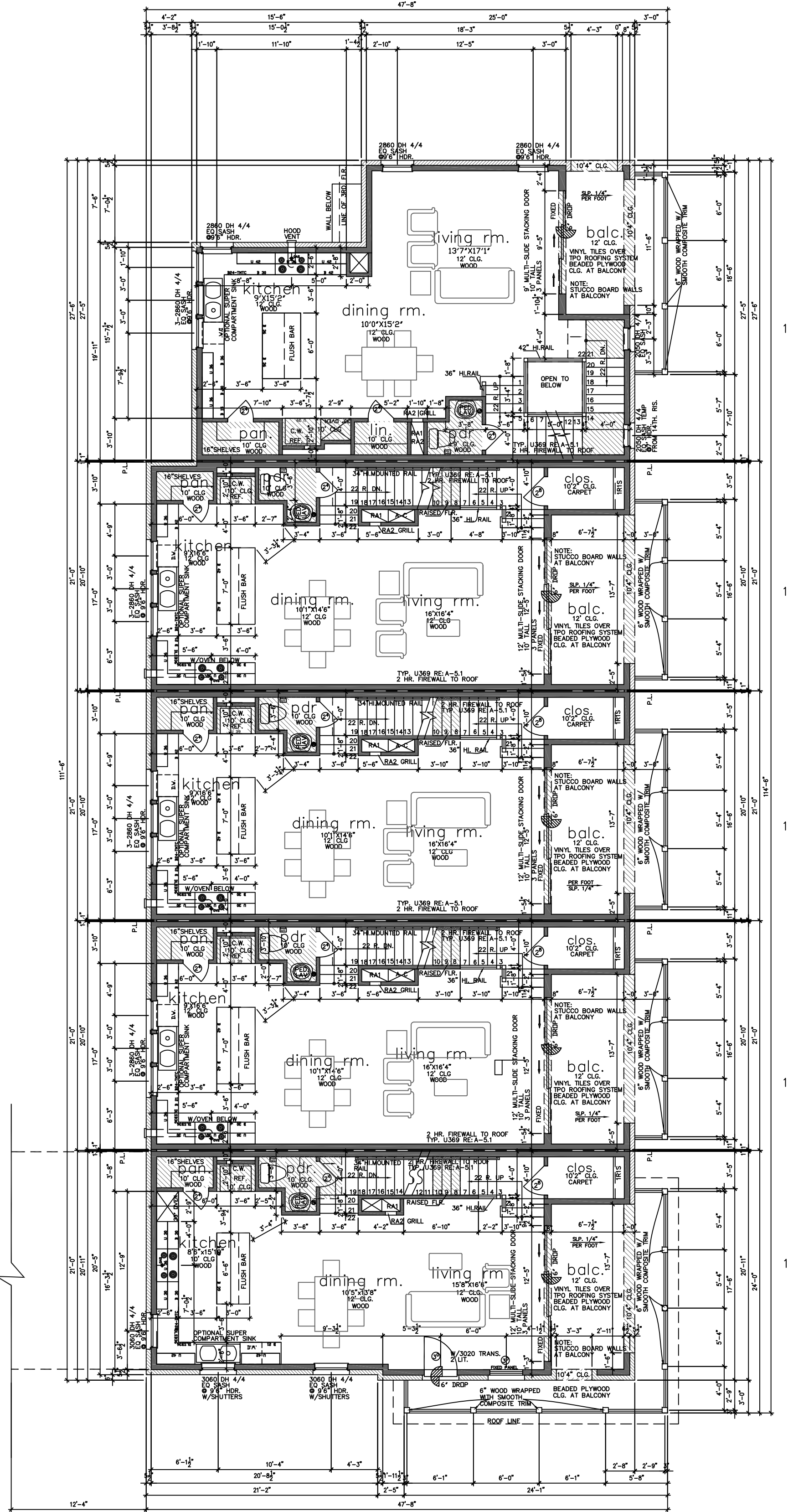
THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

NOTE :
 OUTSIDE NOISE LEVELS, MEASURED WITHIN THE HABITABLE SPACE OF THE UNITS, WILL NOT EXCEED 45 DNL.

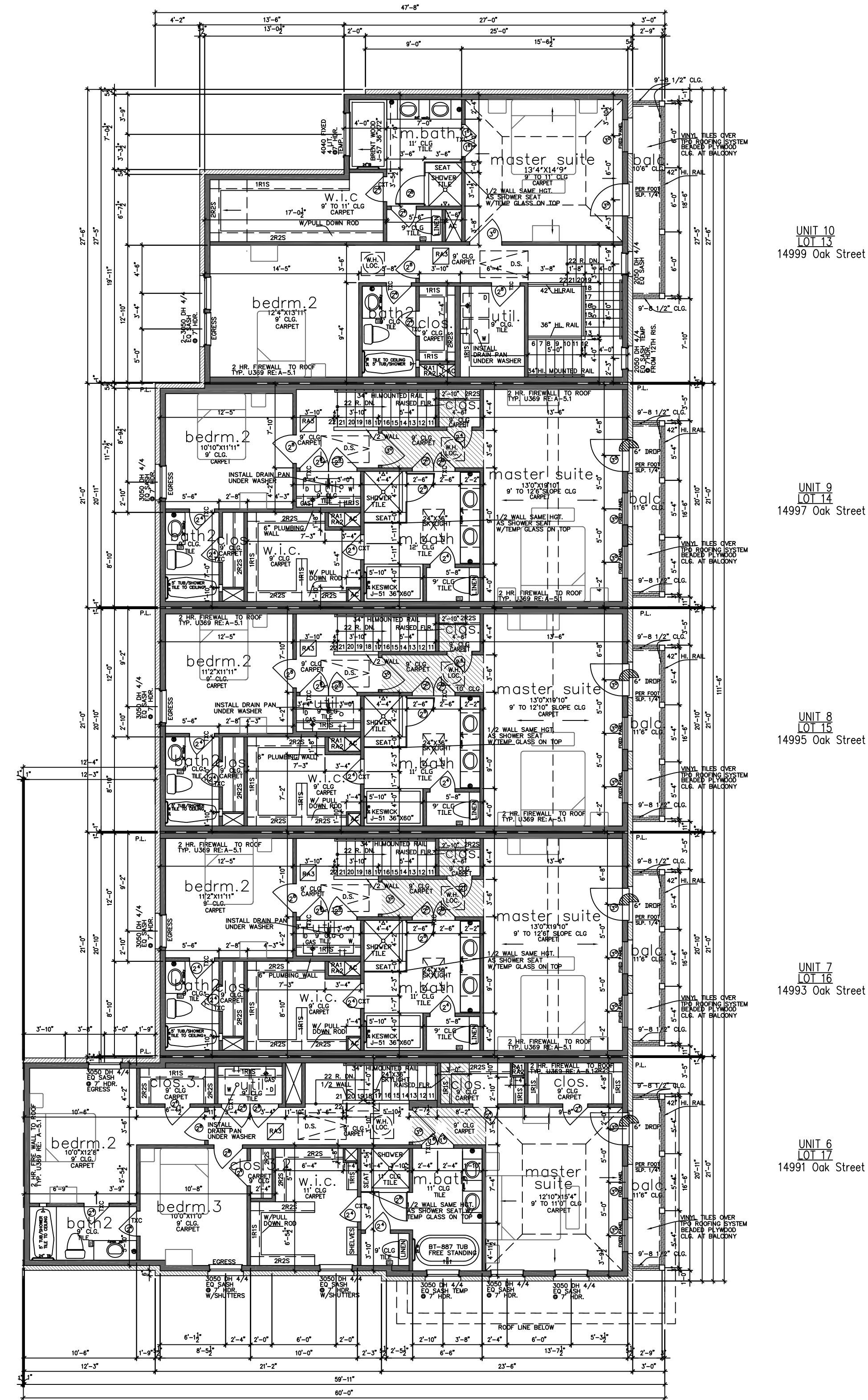
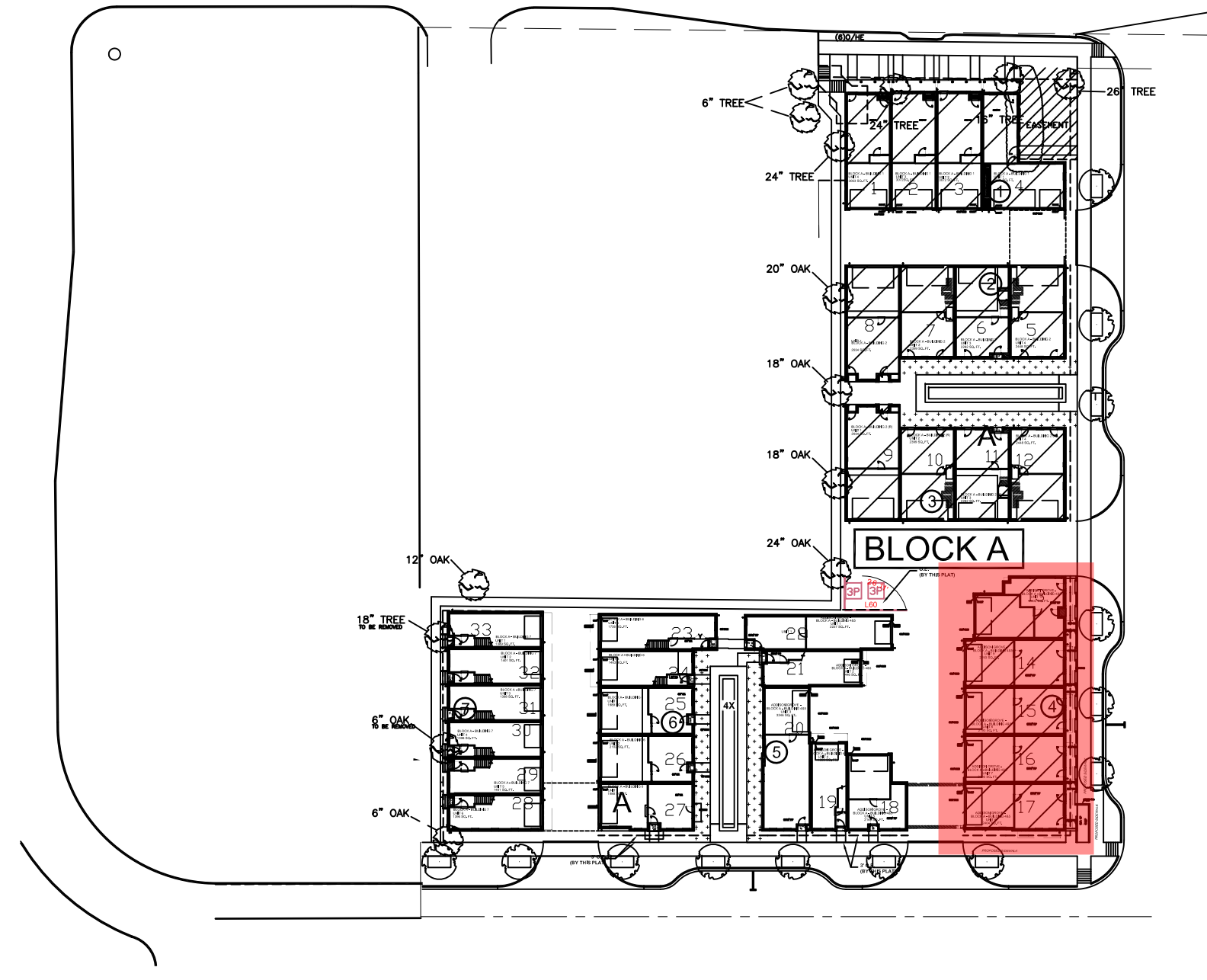
	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 6	2382	3
UNIT 7	2167	2
UNIT 8	2167	2
UNIT 9	2167	2
UNIT 10	2302	2



First Floor Plan
 SCALE: 1/8" = 1'-0"



Second Floor Plan
 SCALE: 1/8" = 1'-0"



Third Floor Plan
 NORTH
 SCALE: 1/8" = 1'-0"
 0 4 8

UNIT 10
LOT 13
14999 Oak Street

UNIT 9
LOT 14
14997 Oak Street

UNIT 8
LOT 15
14995 Oak Street

UNIT 7
LOT 16
14993 Oak Street

UNIT 6
LOT 17
14991 Oak Street

ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 4

URBANINTOWNHOMES

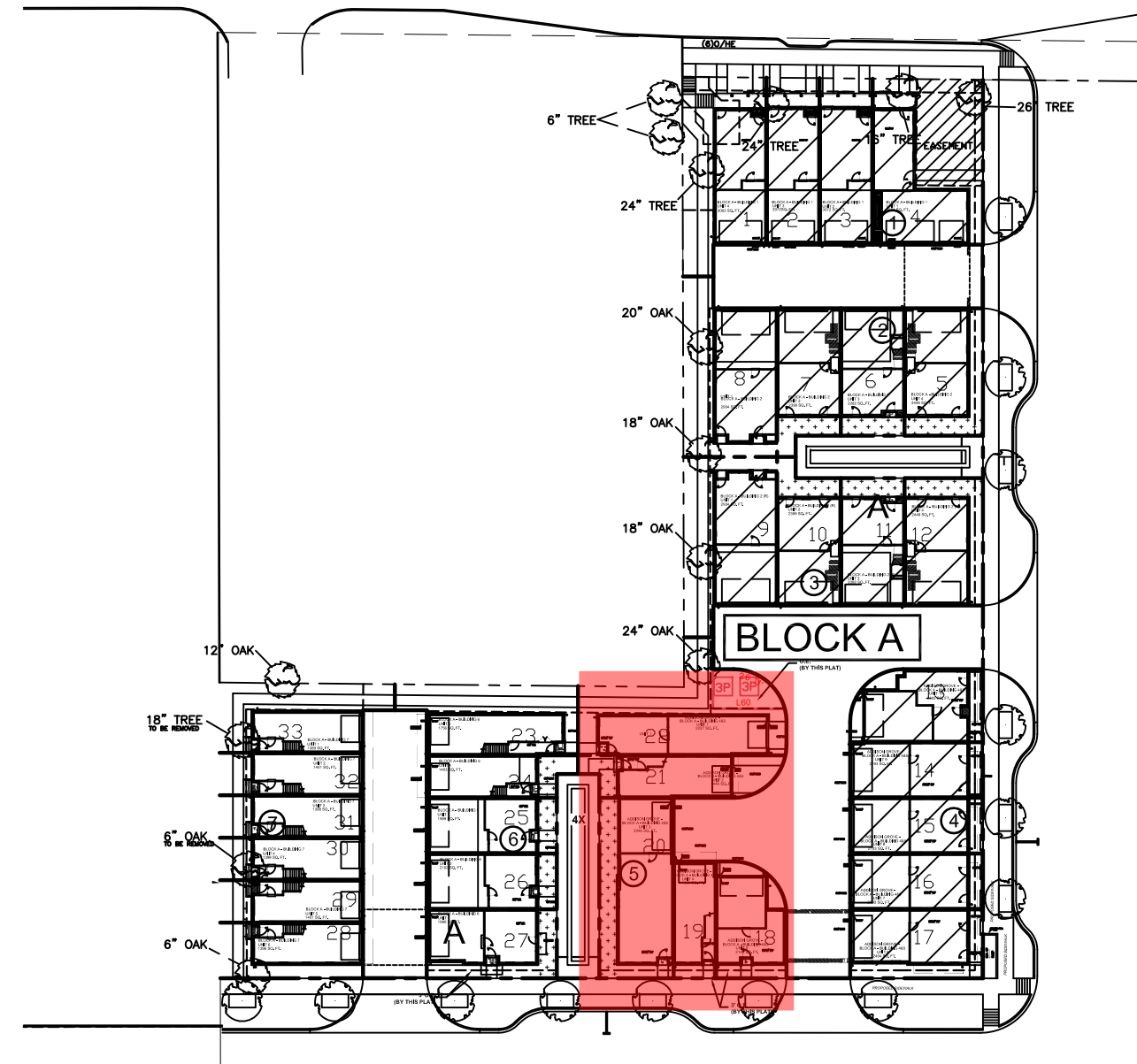
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Drawn By/Checked By:
 J.C./P.W.
 Original Date Issued:
 09/11/2019
 Scale:
 1/8" = 1'-0"
 Last Updated:
 08/18/2020

PLAN NO.	UNIT	SQ. FT.
2227.1	UNIT 1	2227.1
1446.4	UNIT 2	1446.4
3246.1	UNIT 3	3246.1
1350.6	UNIT 4	1350.6
2149.2	UNIT 5	2149.2
2382.3	UNIT 6	2382.3
2167.3	UNIT 7	2167.3
2167.4	UNIT 8	2167.4
2167.5	UNIT 9	2167.5
2302.2	UNIT 10	2302.2

SHEET NO.
A-2.2

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LEGEND
 BRICK
 STUCCO BOARD

ADDITIONAL BUILDING MATERIALS

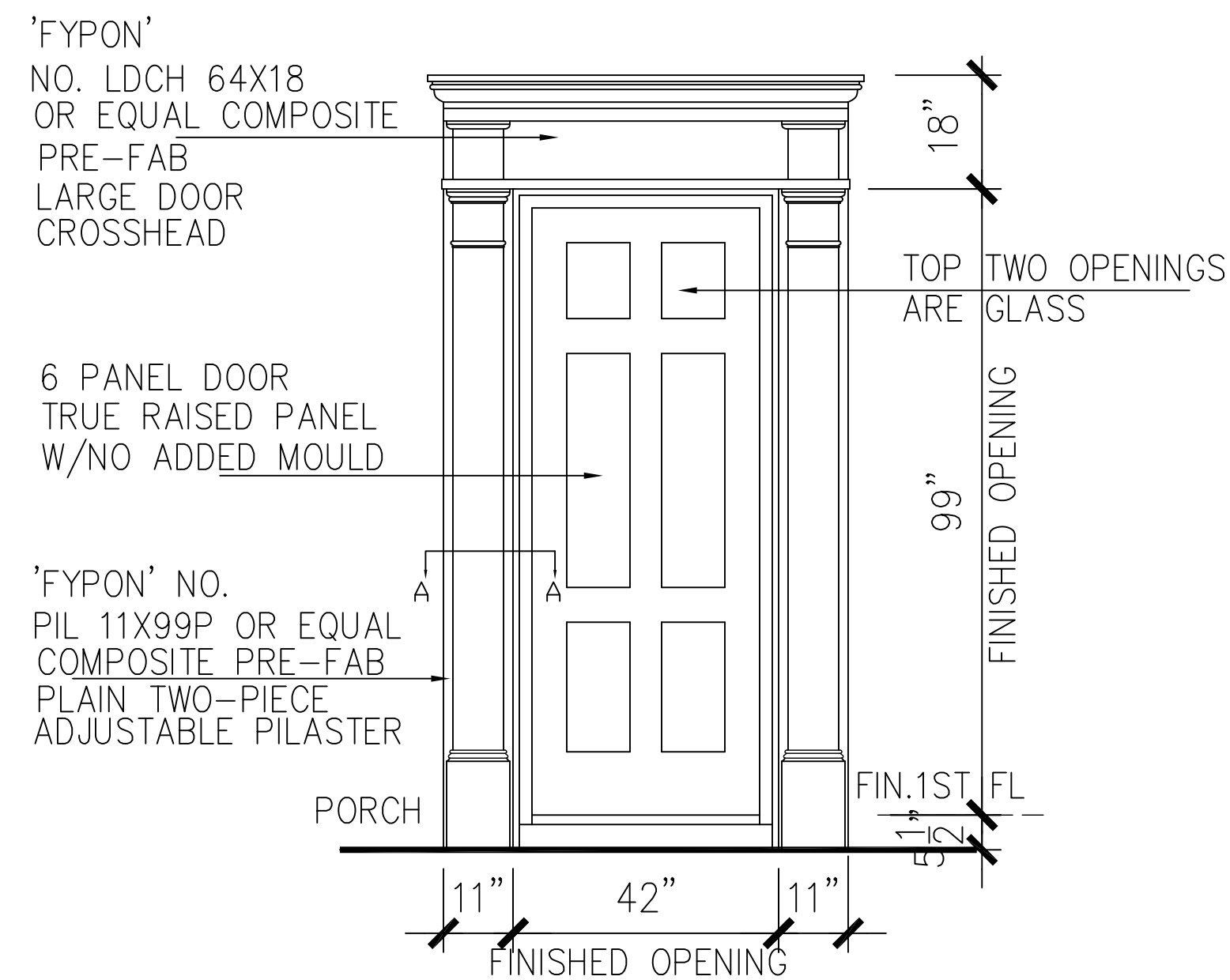
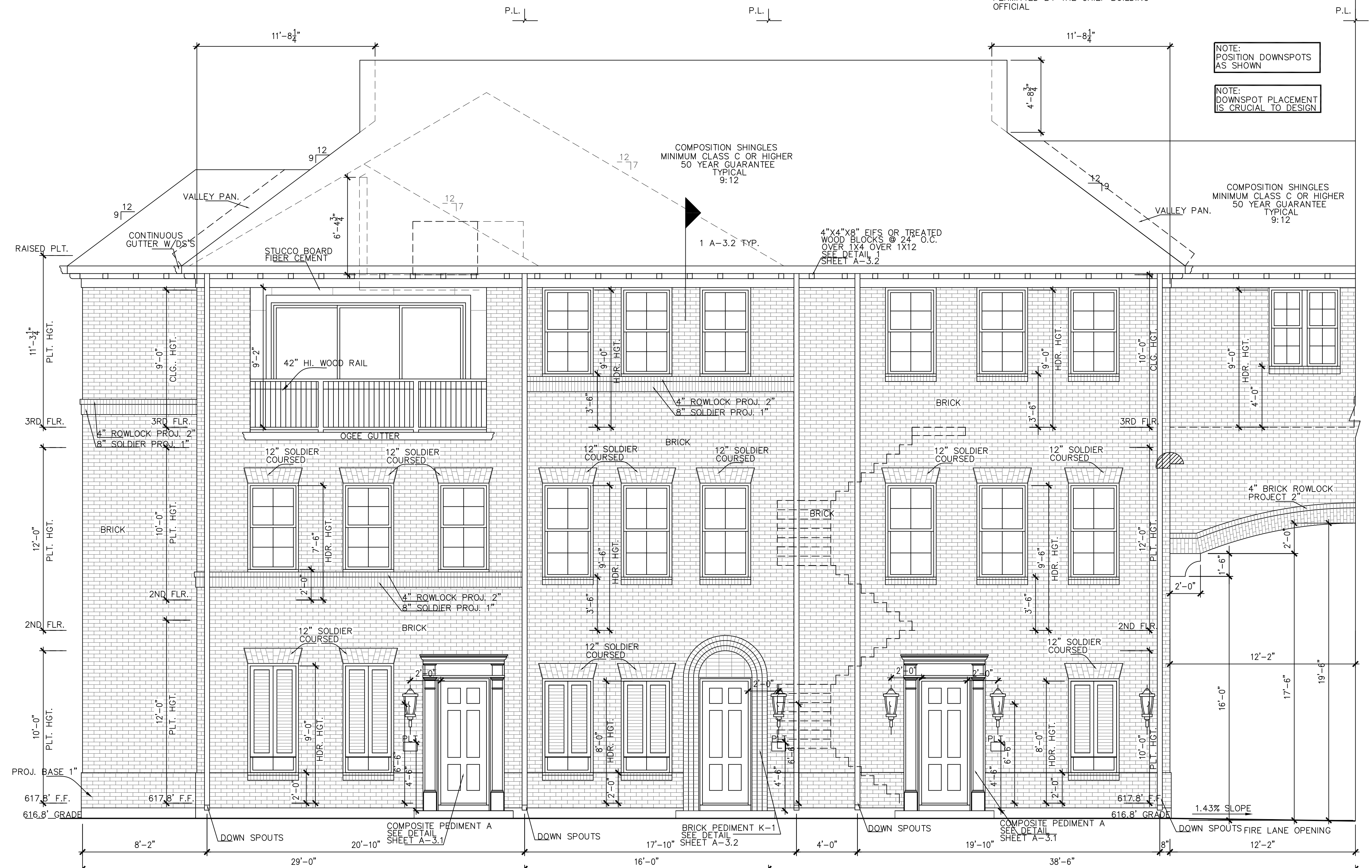
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COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 4 BRICK PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 5 COMPOSITE PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS

SOUTH/FRONT MATERIAL CALCULATION TABLE

BRICK	2135	98.2%
STUCCO BOARD	39	1.8%
GLAZING	374	14.7%
TOTAL SURFACE AREA	2548	

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COMPOSITE PEDIMENT A
SCALE: 1/2" = 1'-0"

UNIT 3 LOT 20 4139 Runyon Road
 UNIT 4 LOT 19 4141 Runyon Road
 UNIT 5 LOT 18 4143 Runyon Road

South/front(runyon road) elevation

SCALE: 1/4" = 1'-0"

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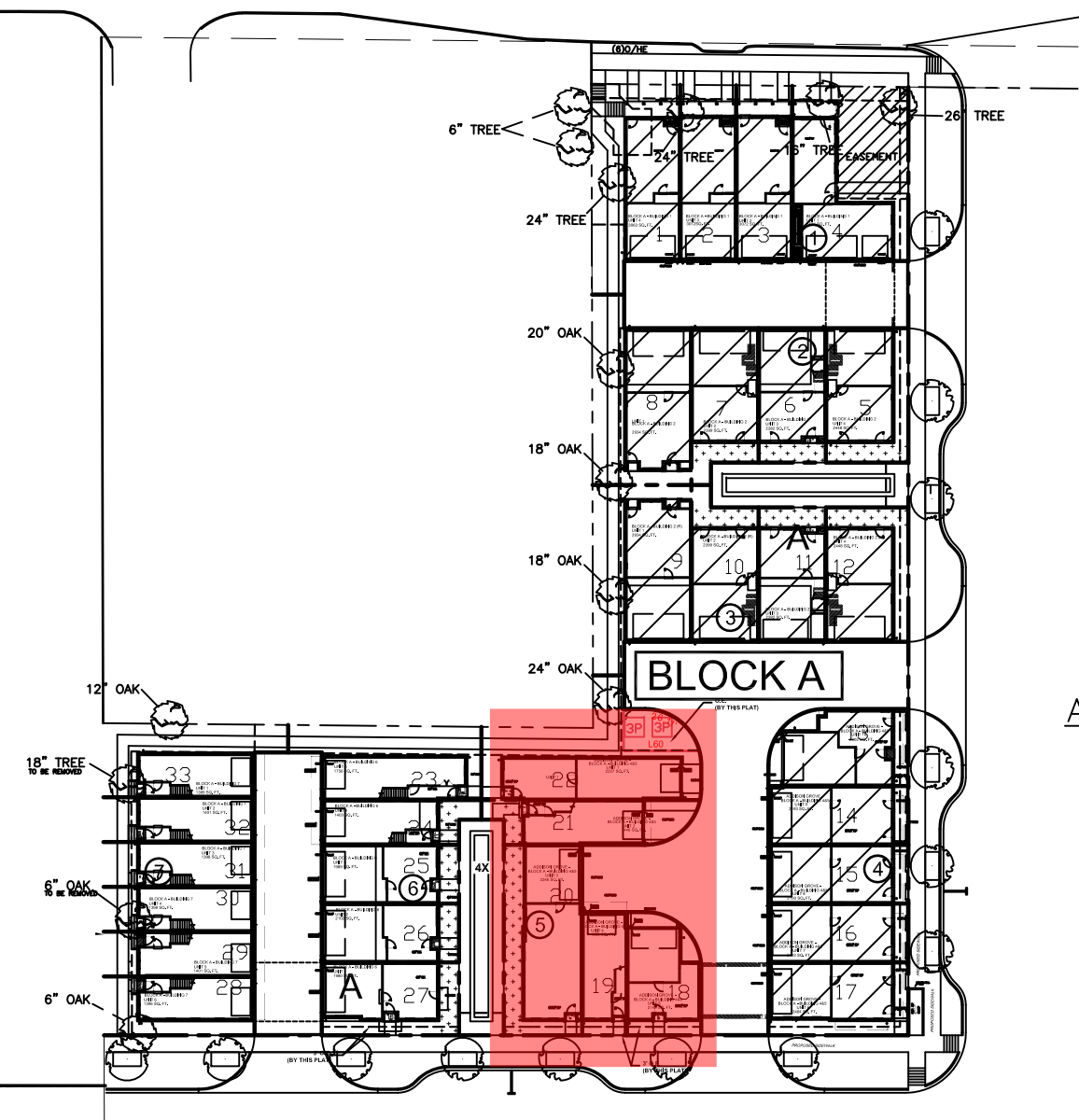
ADDISON GROVE - BLOCK A - BUILDING 5
 SOUTH/FRONT ELEVATIONS

PLAN NO.

UNIT 1	2227
UNIT 2	1446
UNIT 3	3246
UNIT 4	1350
UNIT 5	2149
UNIT 6	2382
UNIT 7	2167
UNIT 8	2167
UNIT 9	2167
UNIT 10	2302

SHEET NO.
A-3.1

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LEGEND
 [Brick Pattern] BRICK
 [Stucco Pattern] STUCCO BOARD

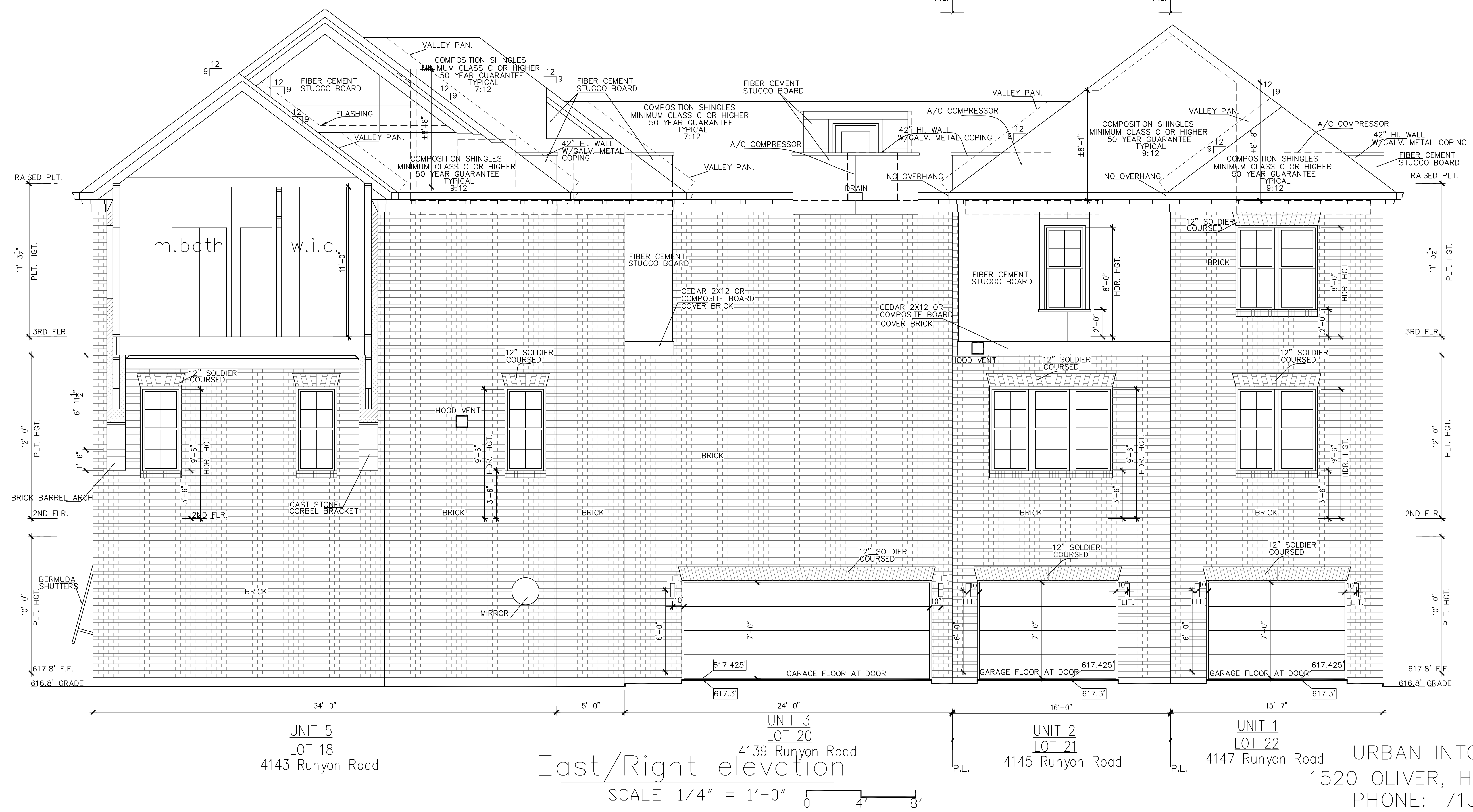
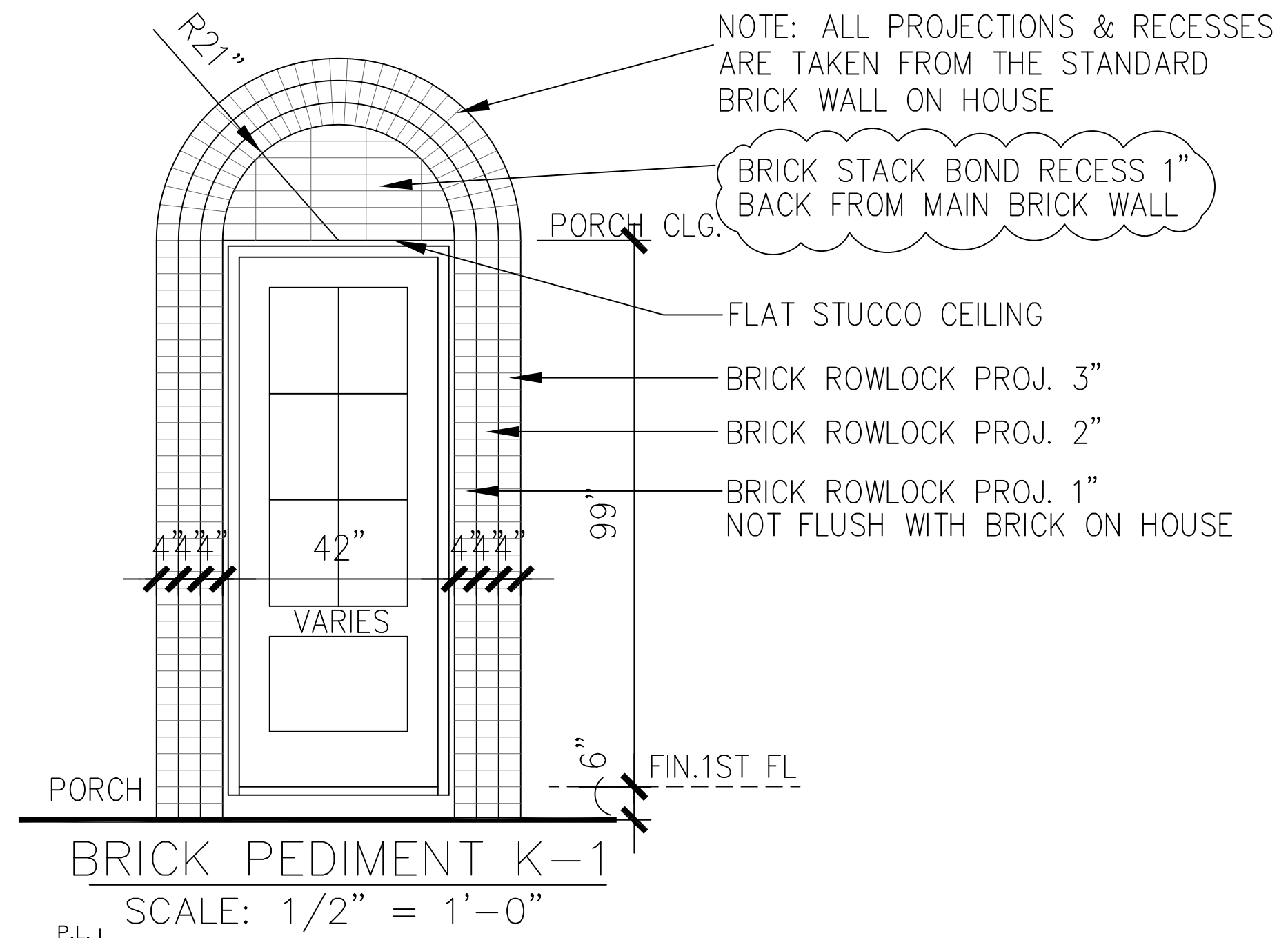
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 COMPOSITION SHINGLES TYPICAL ROOF
 METAL CLAD WOOD WINDOWS
 4X4X8 WOOD OF EIFS BLOCKS

EAST/RIGHT

MATERIAL CALCULATION TABLE		
BRICK	2356	88.6%
STUCCO BOARD	302	11.4%
GLAZING	213	7.4%
TOTAL SURFACE AREA	2871	

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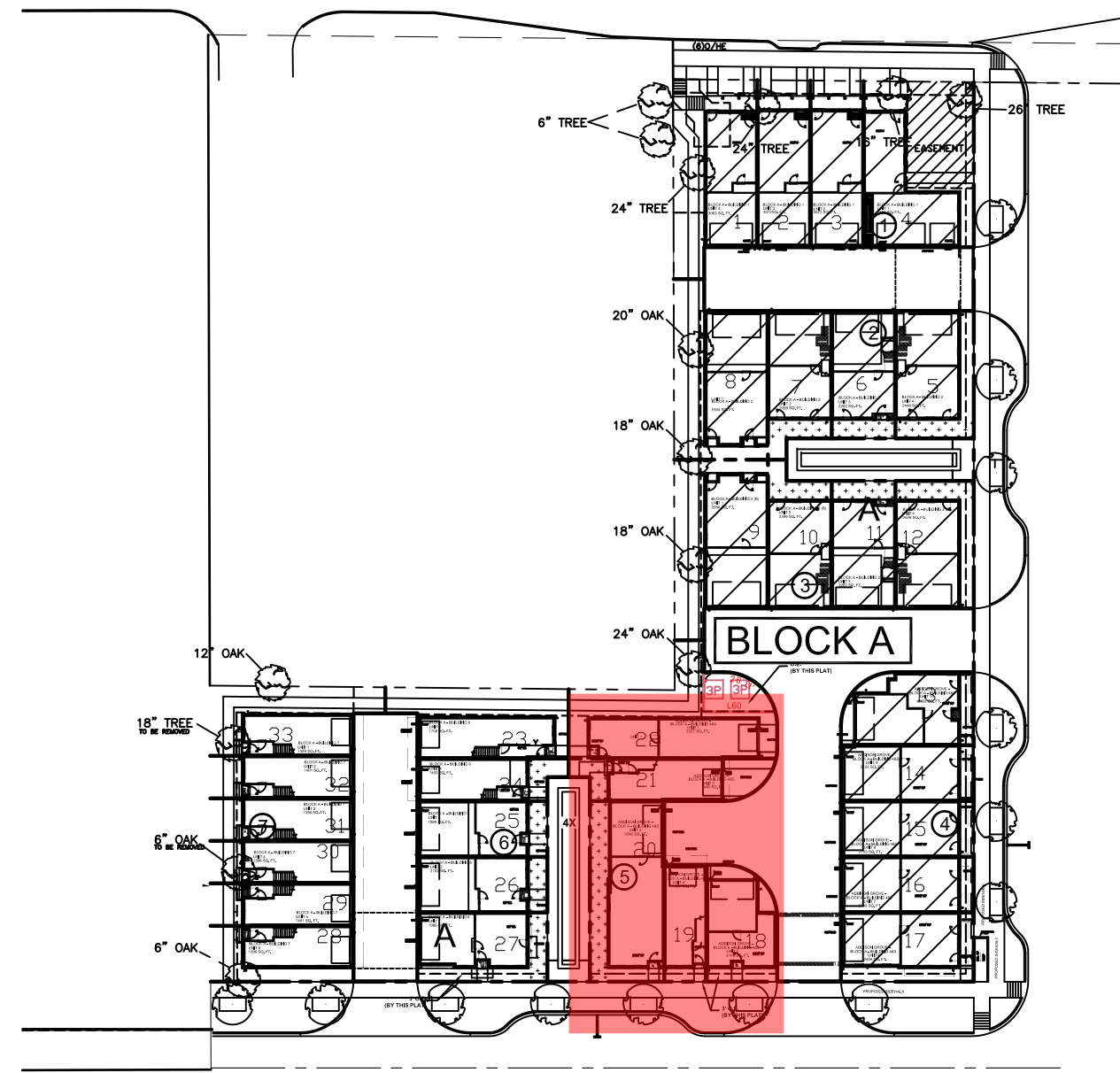
ADDISON GROVE - BLOCK A - BUILDING 5
EAST/RIGHT ELEVATIONS

PLAN NO.

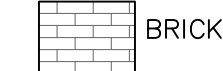
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UNIT 3	3246
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SHEET NO.
A-3.2

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LEGEND



ADDITIONAL BUILDING MATERIALS

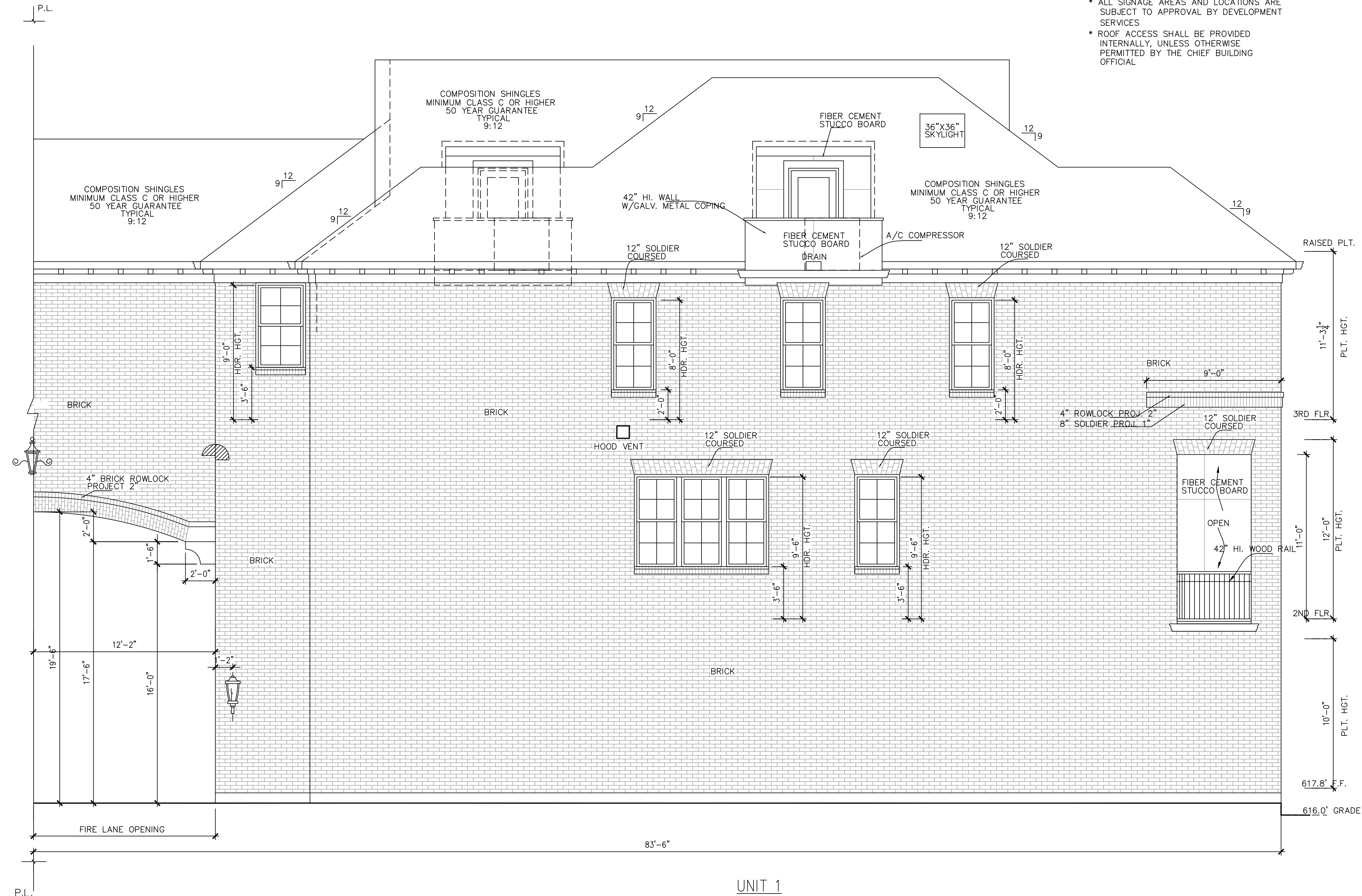
- COMPOSITION SHINGLES TYPICAL ROOF
- METAL CLAD WOOD WINDOWS
- 42" HI. RAIL
- 4X4X8 WOOD OF EIFS BLOCKS

NORTH/REAR

MATERIAL CALCULATION TABLE		
BRICK	2344	94.8%
STUCCO BOARD	129	5.2%
GLAZING	160	6.1%
TOTAL SURFACE AREA	2633	

FACADE PLAN NOTES

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URBANINTOWNHOMES

ADDISON GROVE - BLOCK A - BUILDING 5

NORTH/REAR ELEVATIONS

Drawn/Checked By: J.O./P.W.
 Original Date Issued: 09/11/2019
 Scale: 1/4" = 1'-0"
 Last Updated: 08/18/2020

1520 OLIVER STREET, HOUSTON, TX 77007
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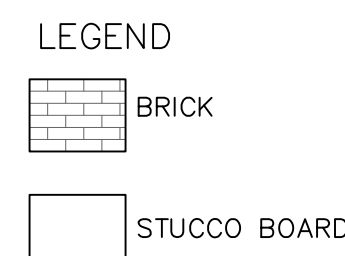
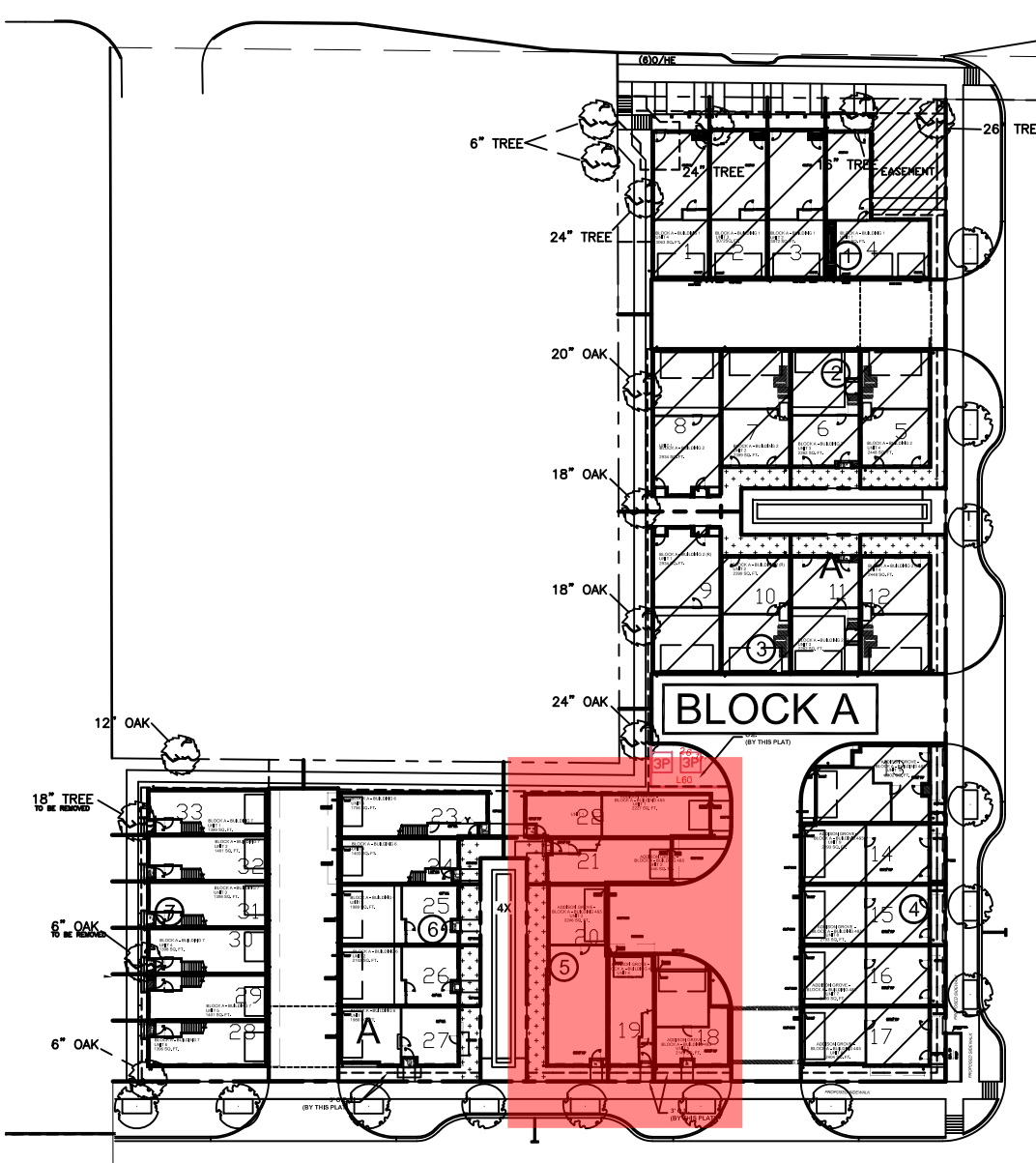
ADDISON GROVE

UNIT 1
 LOT 22
 4147 Runyon Road
 north/rear/alley elevation
 SCALE: 1/4" = 1'-0"

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877

PLAN NO.	UNIT NO.
2227	UNIT 1
1446	UNIT 2
3246	UNIT 3
1350	UNIT 4
2149	UNIT 5
2382	UNIT 6
2167	UNIT 7
2167	UNIT 8
2167	UNIT 9
2302	UNIT 10

SHEET NO.
A-3.3

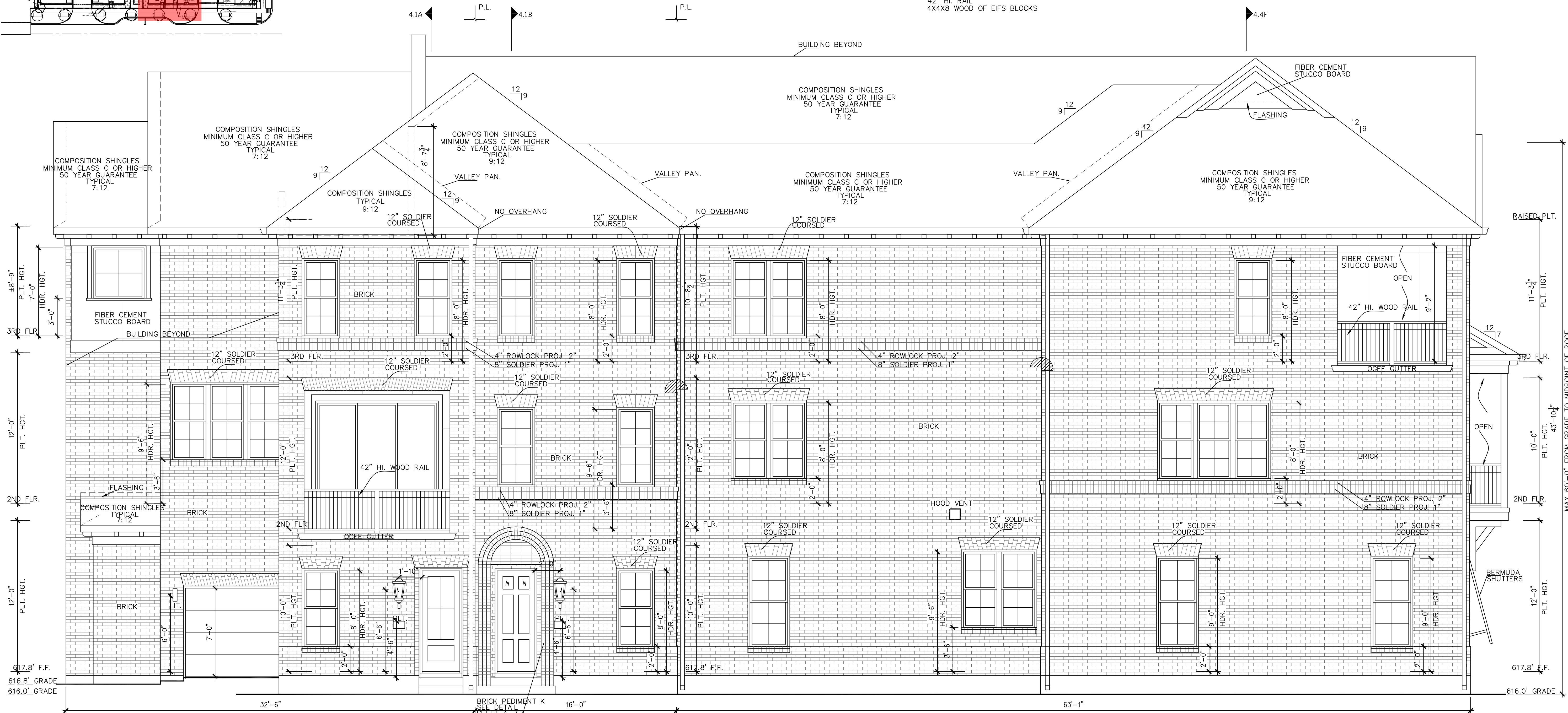


- ADDITIONAL BUILDING MATERIALS**
- UNIT 10 COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS
 - UNIT 1 COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS
 - UNIT 2 BRICK PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS
 - UNIT 3 COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS

WEST/LEFT

MATERIAL CALCULATION TABLE		
STUCCO BOARD	157	5.0%
BRICK	3008	95%
GLAZING	531	14.4%
TOTAL SURFACE AREA	3696	

- FAÇADE PLAN NOTES**
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UNIT 10
LOT 13
14999 Oak Street

UNIT 1
LOT 22
4147 Runyon Road

UNIT 2
LOT 21
4145 Runyon Road

UNIT 3
LOT 20
4139 Runyon Road

west/left(court yard)elevation

SCALE: 1/4" = 1'-0"

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PHONE: 713-961-3877

URBANINTOWNHOMES
1520 OLIVER STREET, HOUSTON, TX 77007
(713)880-4811 TEL (713)426-4410 FAX

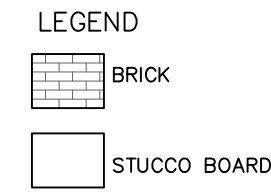
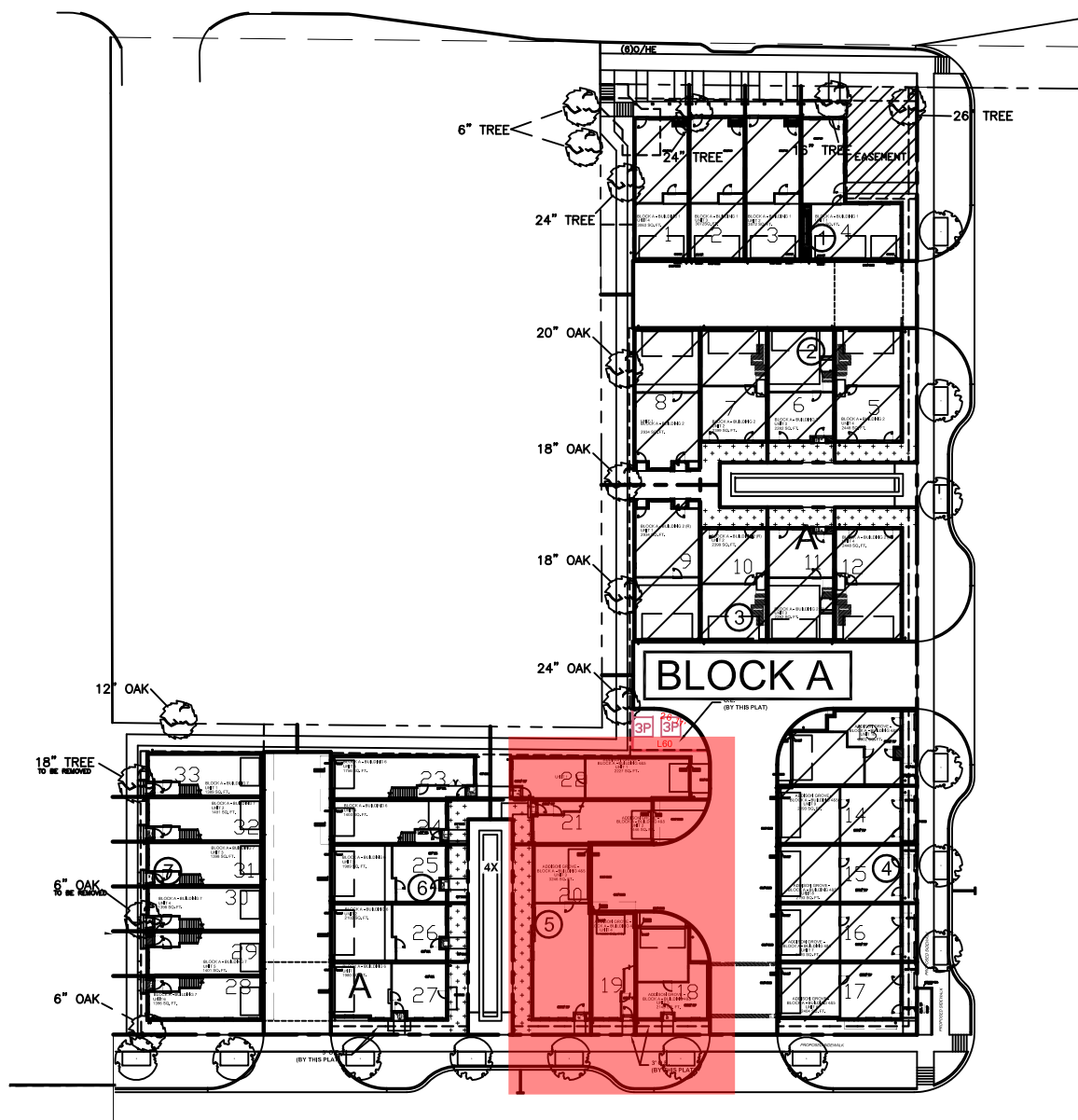
ADDISON GROVE - BLOCK A - BUILDING 5
WEST/LEFT ELEVATIONS

PLAN NO.

UNIT 1	2227
UNIT 2	1446
UNIT 3	3246
UNIT 4	1350
UNIT 5	2149
UNIT 6	2382
UNIT 7	2167
UNIT 8	2167
UNIT 9	2167
UNIT 10	2302

SHEET NO.
A-3.4

Drawn/Checked By: J.O./P.W.
Original Date Issued: 09/11/2019
Scale: 1/4" = 1'-0"
Last Updated: 08/18/2020



ADDITIONAL BUILDING MATERIALS

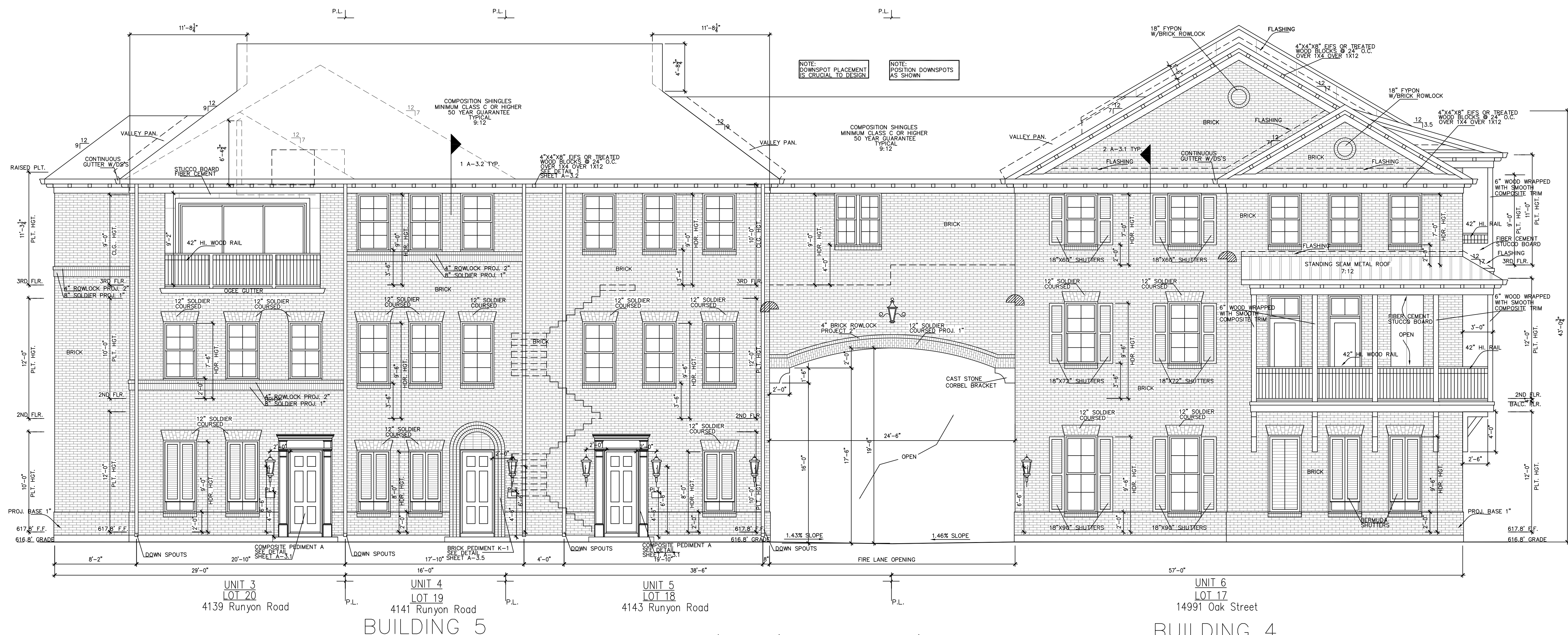
- UNIT 3 COMPOSITE PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 4 BRICK PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 5 COMPOSITE PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 6 COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS

SOUTH/FRONT ELEVATION

MATERIAL CALCULATION TABLE		
BRICK	3563	97.8%
STUCCO BOARD	79	2.2%
GLAZING	840	18.7%
TOTAL SURFACE AREA	4482	

FAÇADE PLAN NOTES

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South/front(runyon road) elevation

SCALE: 3/16" = 1'-0"

URBANINTOWNHOMES

ADDISON GROVE - BLOCK A - BUILDING 4&5

PLAN NO.

UNIT 1	2227
UNIT 2	1446
UNIT 3	3248
UNIT 4	1350
UNIT 5	2149
UNIT 6	2382
UNIT 7	2167
UNIT 8	2167
UNIT 9	2167
UNIT 10	2302

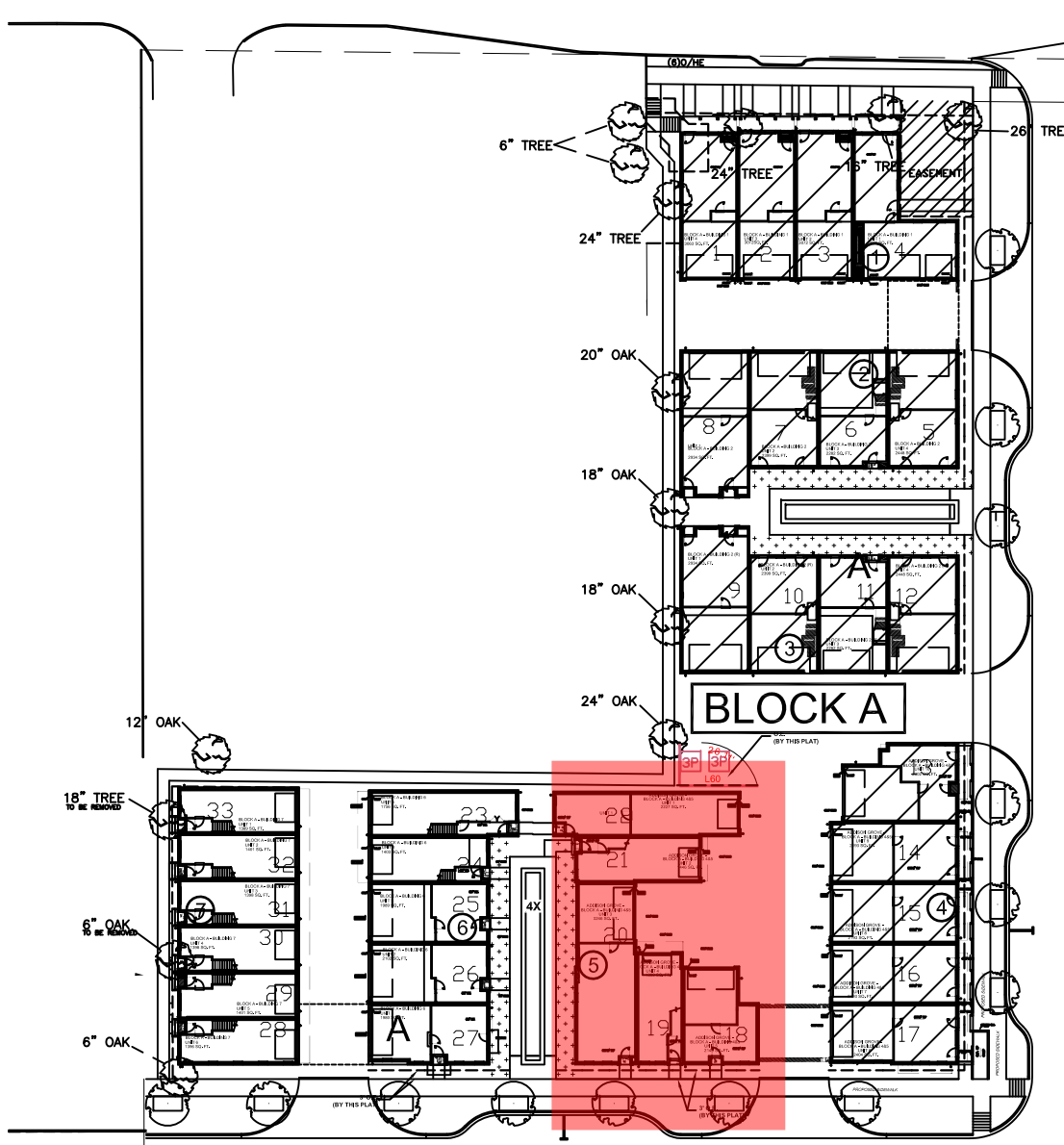
SHEET NO.

A-3.5

URBAN INTOWN HOMES
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PHONE: 713-961-3877

Drawn By/Checked By: J.C./P.W.
Original Date Issued: 09/11/2019
Scale: 3/16" = 1'-0"
Last Updated: 08/18/2020

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	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2227	4
UNIT 2	1446	2
UNIT 3	3246	3
UNIT 4	1350	2
UNIT 5	2149	3

unit1 square footage

FIRST FLOOR	373
SECOND FLOOR	866
THIRD FLOOR	945
TOTAL LIVING AREA	2184
GARAGE	610
BALCONY	124
PORCH	16
AC DECK	86
TOTAL SLAB AREA	3013

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH AND 2705-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit2 square footage

FIRST FLOOR	98
SECOND FLOOR	794
THIRD FLOOR	687
TOTAL LIVING AREA	1446
GARAGE	637
ROOF DECK	6
AC DECK	86
PORCH	9
TOTAL SLAB AREA	2744

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH AND 2705-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit3 square footage

FIRST FLOOR	896
SECOND FLOOR	1306
THIRD FLOOR	1013
TOTAL LIVING AREA	3246
GARAGE	425
PORCH	9
AC DECK	86
ROOF DECK	1298
TOTAL SLAB AREA	1206

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH AND 2705-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit4 square footage

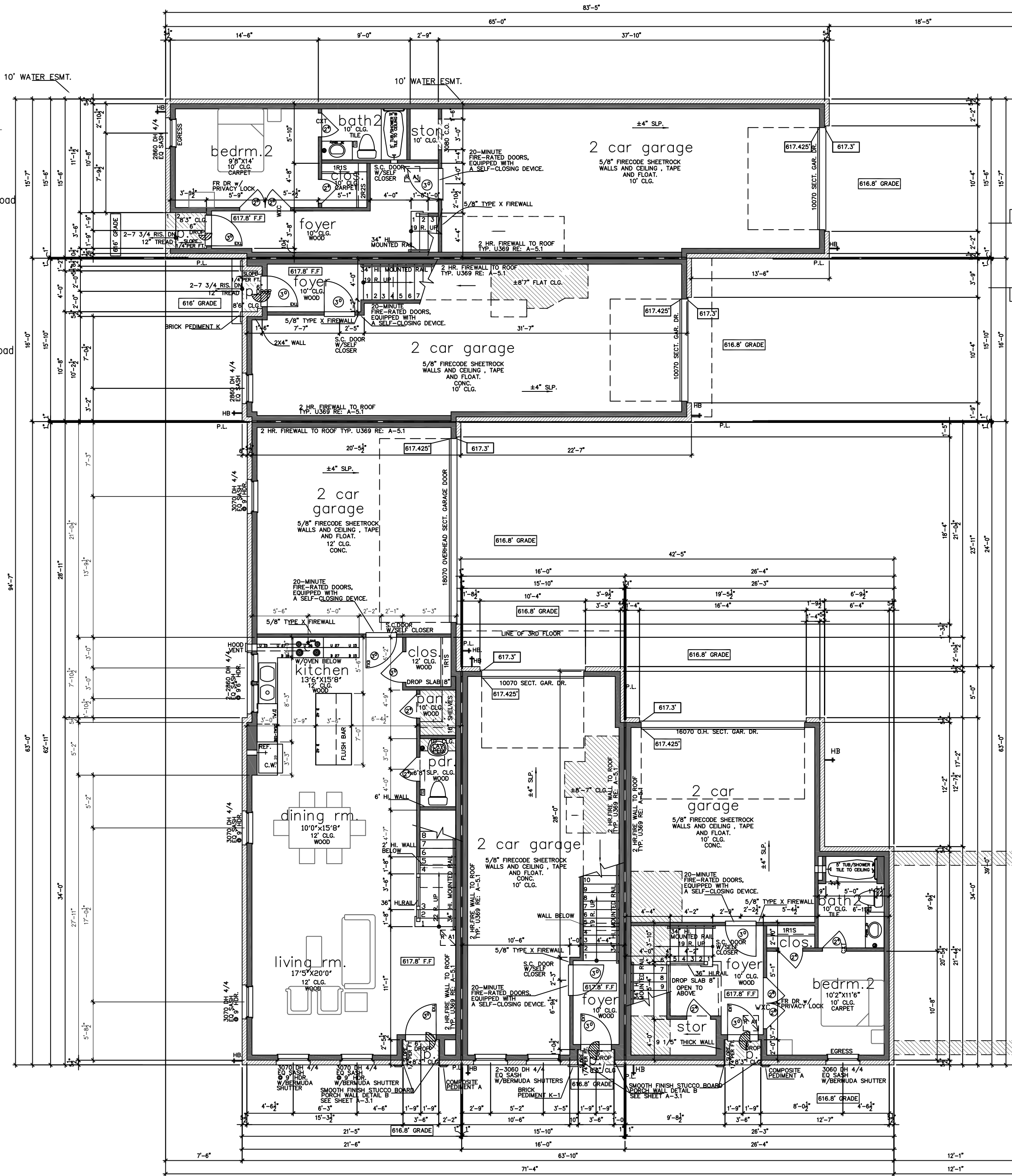
FIRST FLOOR	99
SECOND FLOOR	624
THIRD FLOOR	627
TOTAL LIVING AREA	1350
GARAGE	502
AC DECK	86
PORCH	5
TOTAL SLAB AREA	664

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH AND 2705-2003 ACTUAL SQUARE FOOTAGE MAY VARY

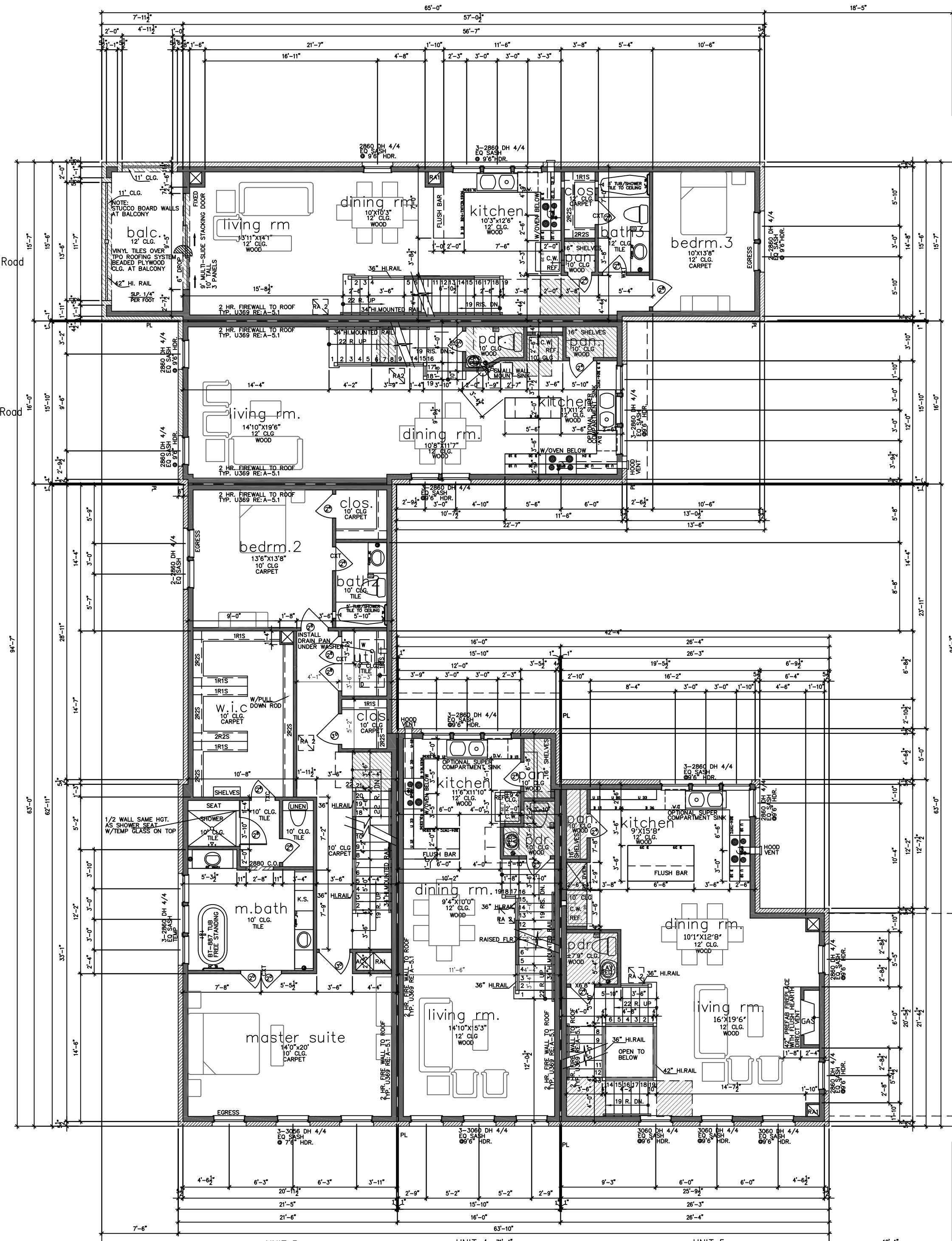
unit5 square footage

FIRST FLOOR	416
SECOND FLOOR	787
THIRD FLOOR	946
TOTAL LIVING AREA	2149
GARAGE	385
ROOF DECK	86
AC DECK	86
PORCH	5
TOTAL SLAB AREA	810

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH AND 2705-2003 ACTUAL SQUARE FOOTAGE MAY VARY



First Floor Plan
SCALE: 1/8" = 1'-0"
0 4 8



Second Floor Plan
SCALE: 1/8" = 1'-0"
0 4 8

URBANINTOWNHOMES

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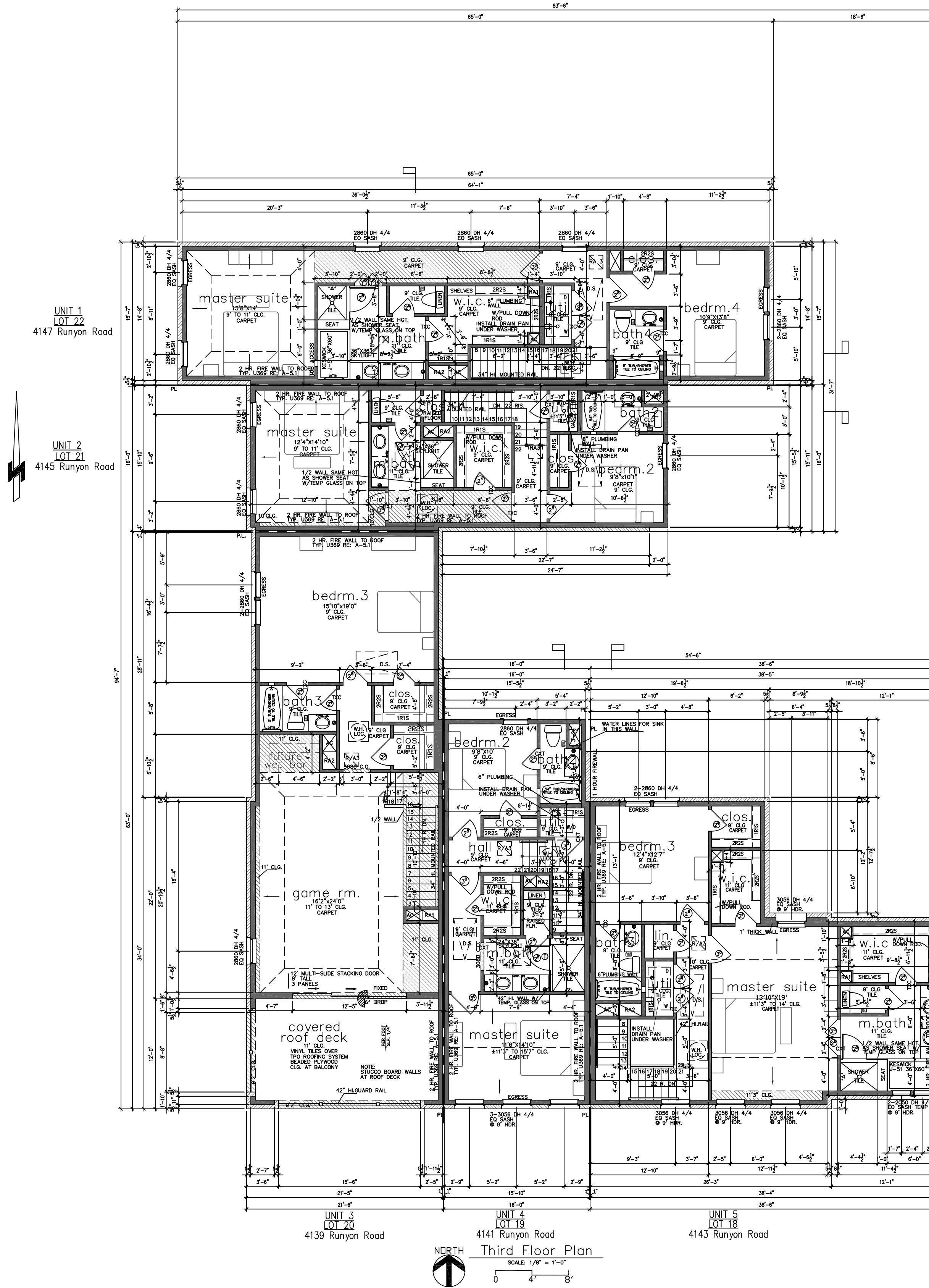
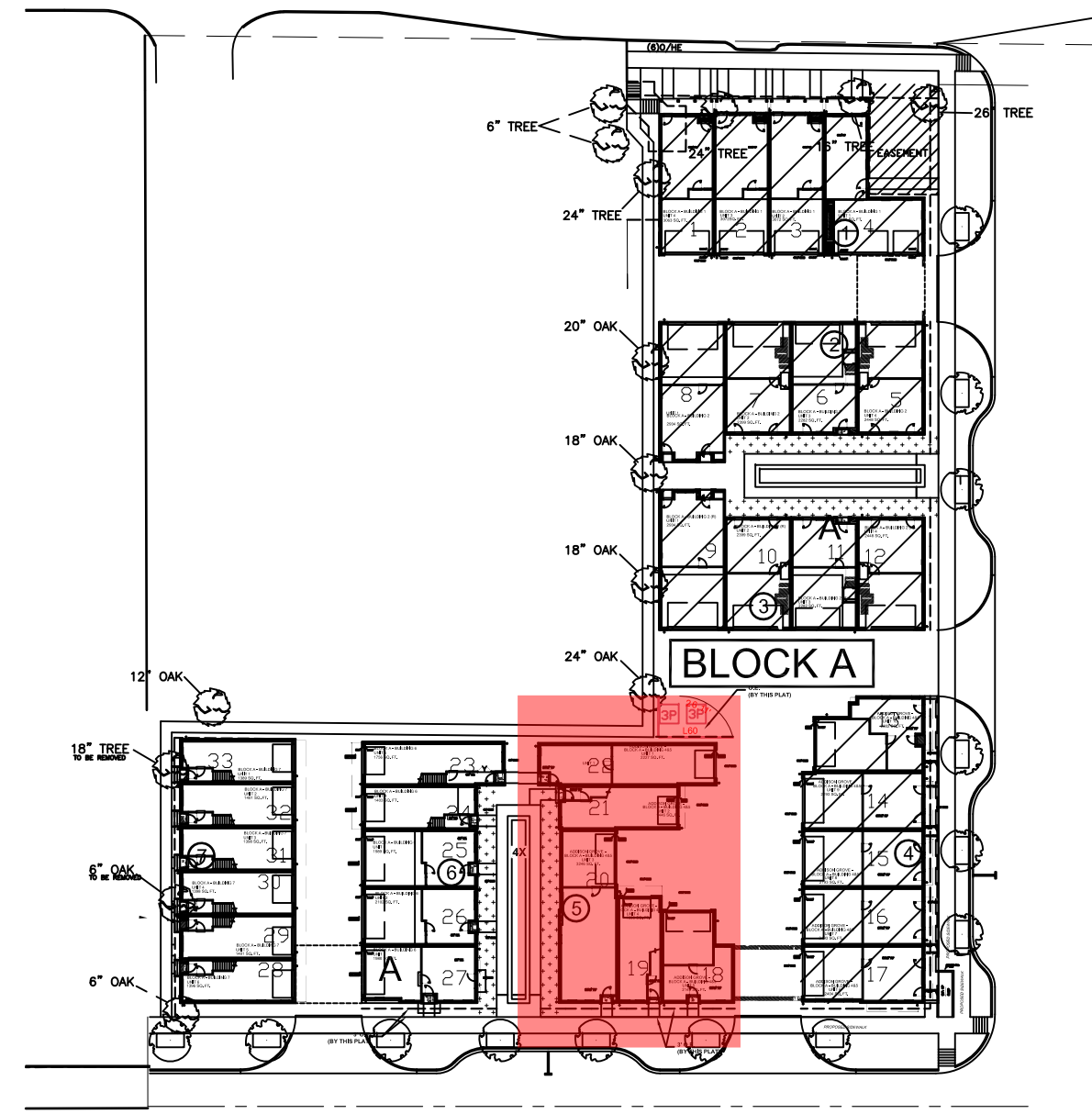
ADDISON GROVE - BLOCK A - BUILDING 5

FLOOR PLAN

PLAN NO.	2227.1
UNIT 1	1446.4
UNIT 2	1446.4
UNIT 3	3246.1
UNIT 4	1350.6
UNIT 5	2149.2
UNIT 6	2382.3
UNIT 7	2167.3
UNIT 8	2167.4
UNIT 9	2167.5
UNIT 10	2302.2

SHEET NO.
A-2.1

Drawn By/Checked By: J.C./P.W.
Original Date Issued: 09/11/2019
Scale: 1/8" = 1'-0"
Last Updated: 08/18/2020



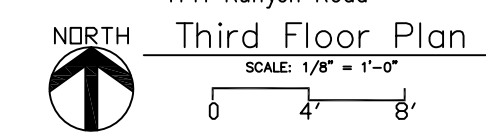
UNIT 1
LOT 22
4147 Runyon Road

UNIT 2
LOT 21
4145 Runyon Road

UNIT 3
LOT 20
4139 Runyon Road

UNIT 4
LOT 19
4141 Runyon Road

UNIT 5
LOT 18
4143 Runyon Road



ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK A - BUILDING 5

FLOOR PLAN

Drawn By/Checked By:
J.C./P.W.
Original Date
09/11/2019
Scale:
1/8" = 1'-0"
Last Updated:
08/18/2020

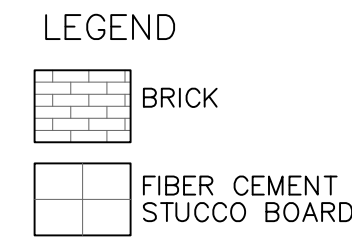
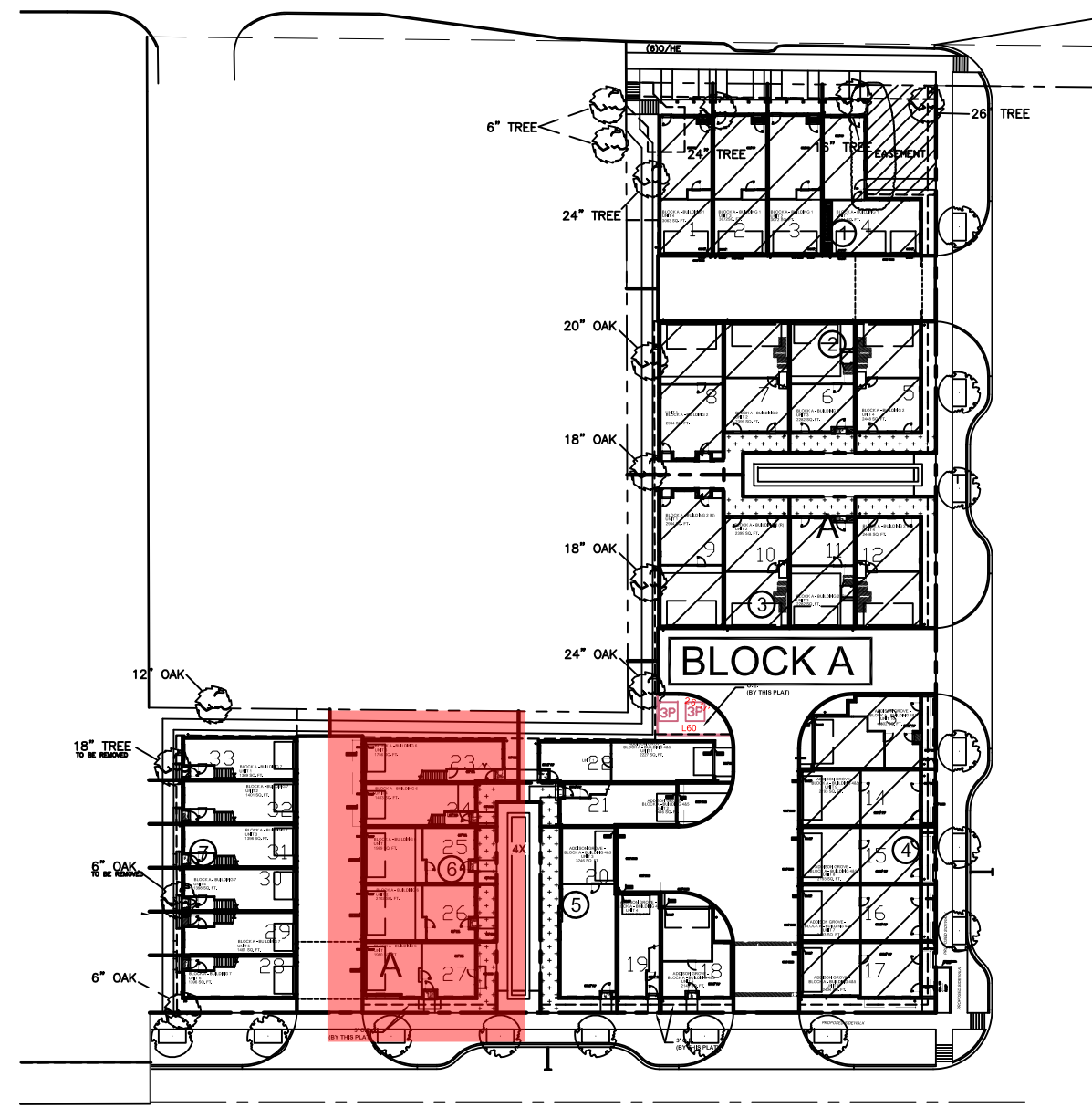
1520 OLIVER STREET, HOUSTON, TX 77007
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PLAN NO.	UNIT NO.	AREA
2227.1	UNIT 1	1446.4
1446.4	UNIT 2	3246.1
3246.1	UNIT 3	1350.6
1350.6	UNIT 4	2149.2
2149.2	UNIT 5	2382.3
2382.3	UNIT 6	2167.3
2167.3	UNIT 7	2167.4
2167.4	UNIT 8	2167.5
2167.5	UNIT 9	2302.2
2302.2	UNIT 10	

SHEET NO.

A-2.2

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1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

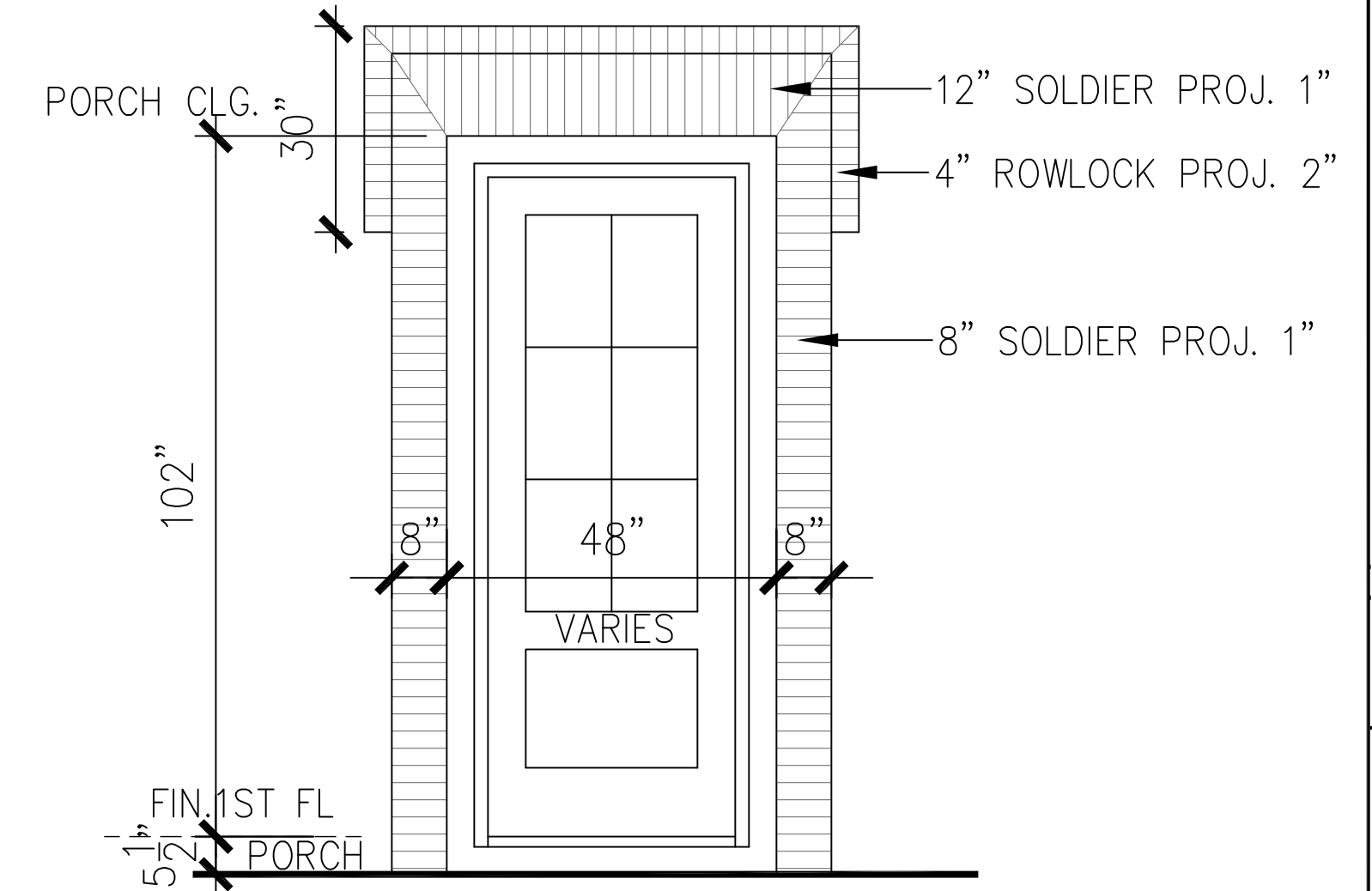
- UNIT 1 COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
42" HI. RAIL
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 2&3 BRICK PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
STEEL RAILING
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 4 BRICK PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
4X4X8 WOOD OF EIFS BLOCKS
- UNIT 5 BRICK PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
STEEL RAILING
4X4X8 WOOD OF EIFS BLOCKS

EAST/FRONT

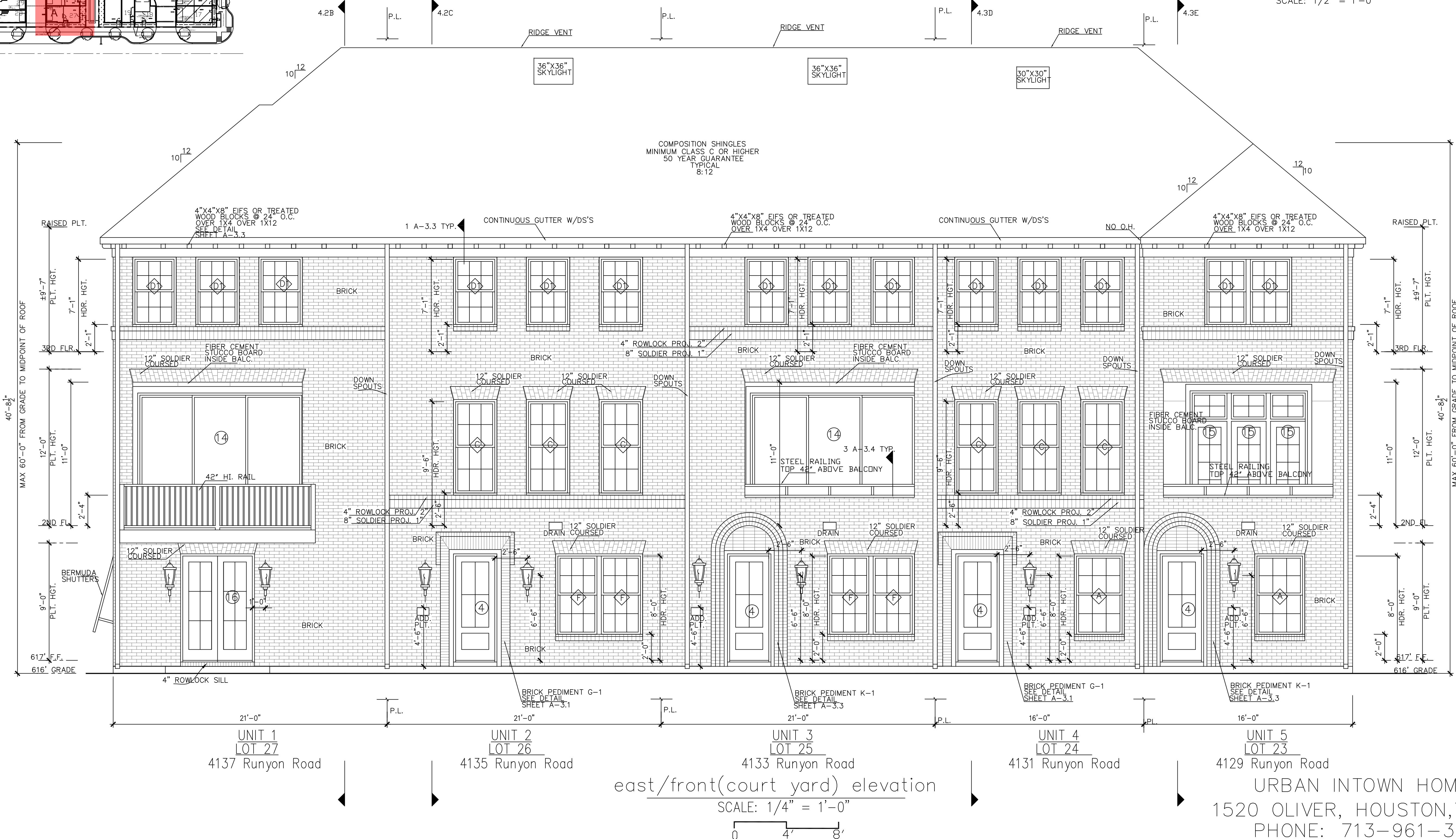
MATERIAL CALCULATION TABLE		
STUCCO BOARD	63	3.1%
BRICK	1968	96.9%
GLAZING	949	31.8%
TOTAL SURFACE AREA	2980	

ELEVATION NOTES

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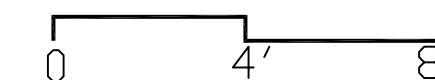


BRICK PEDIMENT G-1
SCALE: 1/2" = 1'-0"



east/front(court yard) elevation

SCALE: 1/4" = 1'-0"



Drawn By/Checked By: A.G./F.M.
Original Date Issued: 09/12/2019
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2020

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ADDISON GROVE - BLOCK A - BUILDING 6

EAST / FRONT ELEVATION

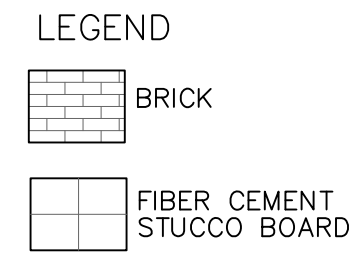
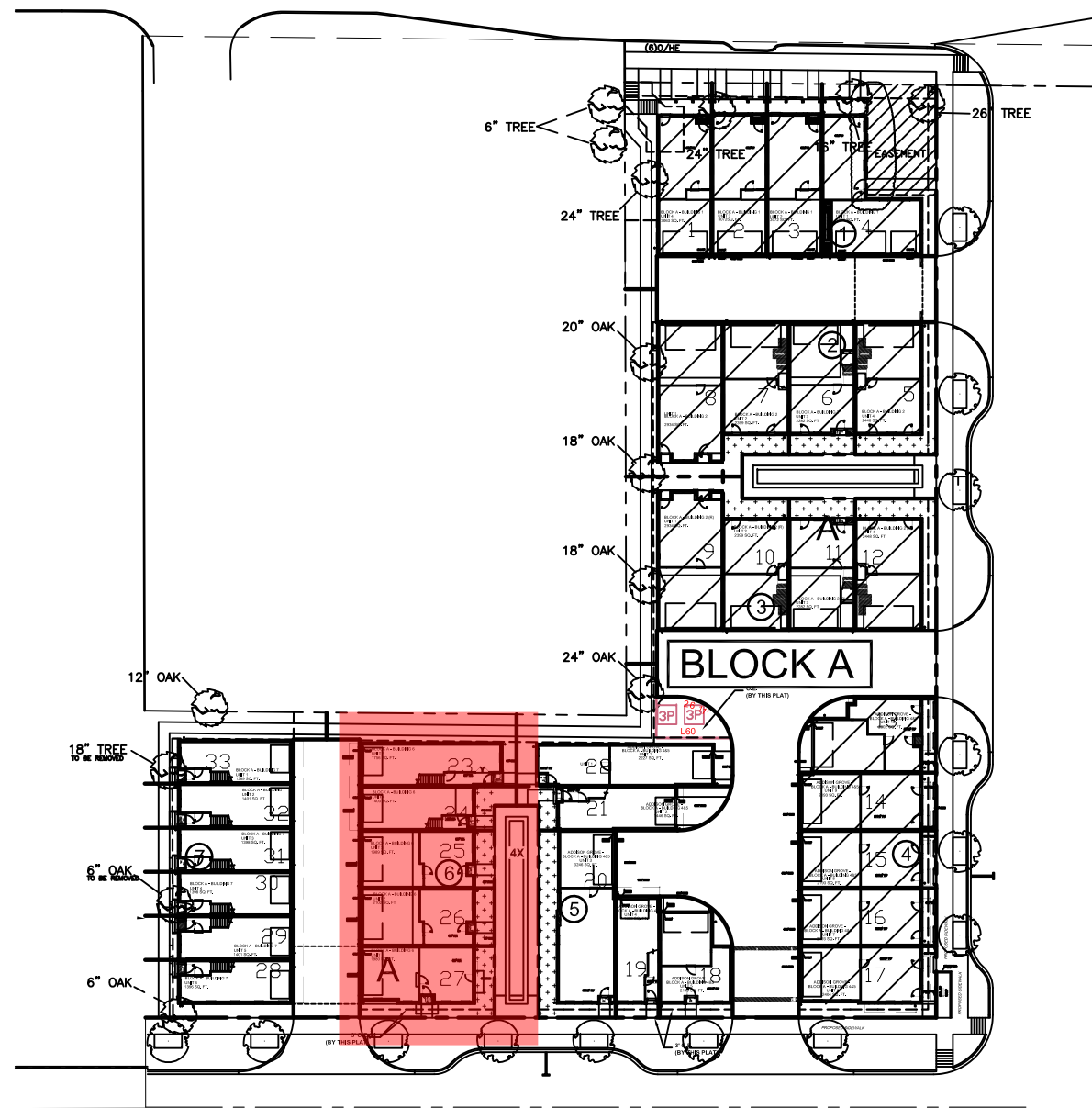
ADDISON GROVE

PLAN NO.	UNIT	NO.
1880.4	UNIT 1	1880.4
2102.4	UNIT 2	2102.4
1989.4	UNIT 3	1989.4
1403.1	UNIT 4	1403.1
1756	UNIT 5	1756

SHEET NO.

A-3.1

URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



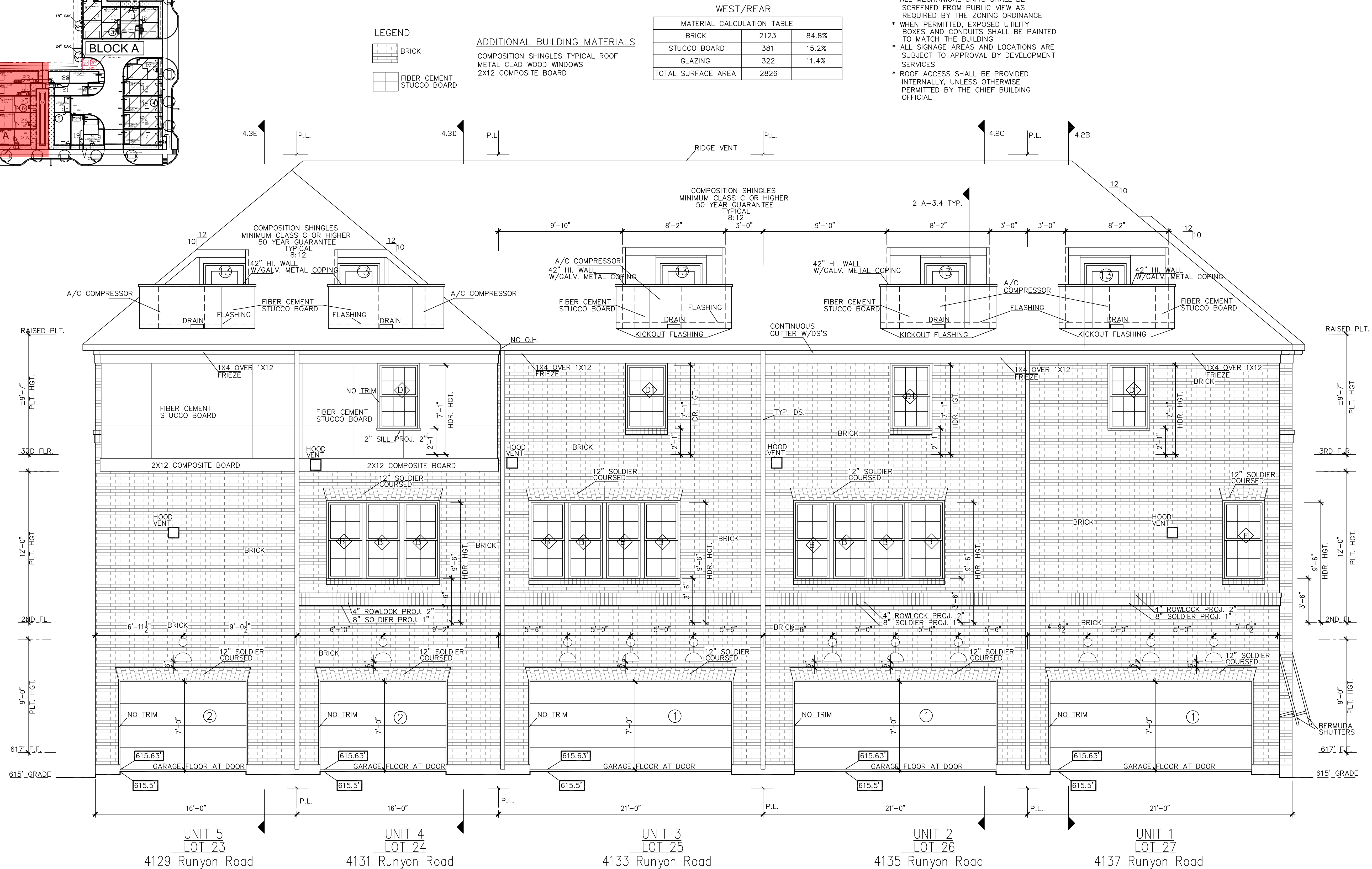
ADDITIONAL BUILDING MATERIALS
 COMPOSITION SHINGLES TYPICAL ROOF
 METAL CLAD WOOD WINDOWS
 2X12 COMPOSITE BOARD

MATERIAL CALCULATION TABLE

BRICK	2123	84.8%
STUCCO BOARD	381	15.2%
GLAZING	322	11.4%
TOTAL SURFACE AREA	2826	

ELEVATION NOTES

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west/rear(alley) elevation
 SCALE: 1/4" = 1'-0"
 0 4' 8'

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877

Drawn By/Checked By:
 A.G./F.M.
 Original Date:
 09/12/2019
 Scale:
 1/4" = 1'-0"
 Last Updated:
 06/03/2020

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ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 6

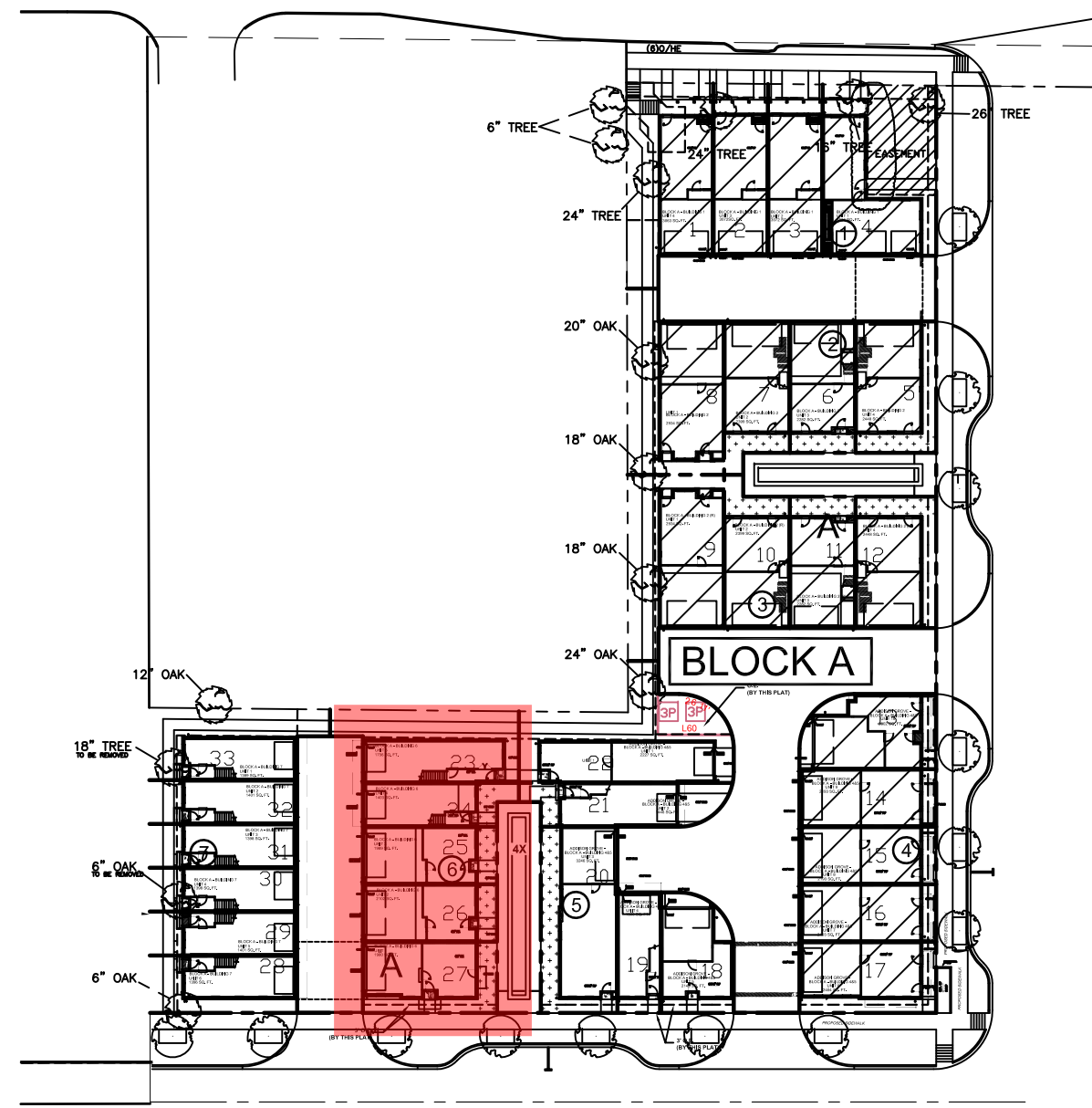
WEST / REAR ELEVATION

PLAN NO.

UNIT 1	1980.4
UNIT 2	2102.4
UNIT 3	1989.4
UNIT 4	1403.1
UNIT 5	1756

SHEET NO.

A-3.2



LEGEND

	BRICK
	FIBER CEMENT STUCCO BOARD

ADDITIONAL BUILDING MATERIALS

BRICK PEDIMENT AT ENTRY
COMPOSITION SHINGLES TYPICAL ROOF
METAL CLAD WOOD WINDOWS
STEEL RAILING
FIXED SHUTTER
4X4X8 WOOD OF EFS BLOCKS
2X12 COMPOSITE BOARD

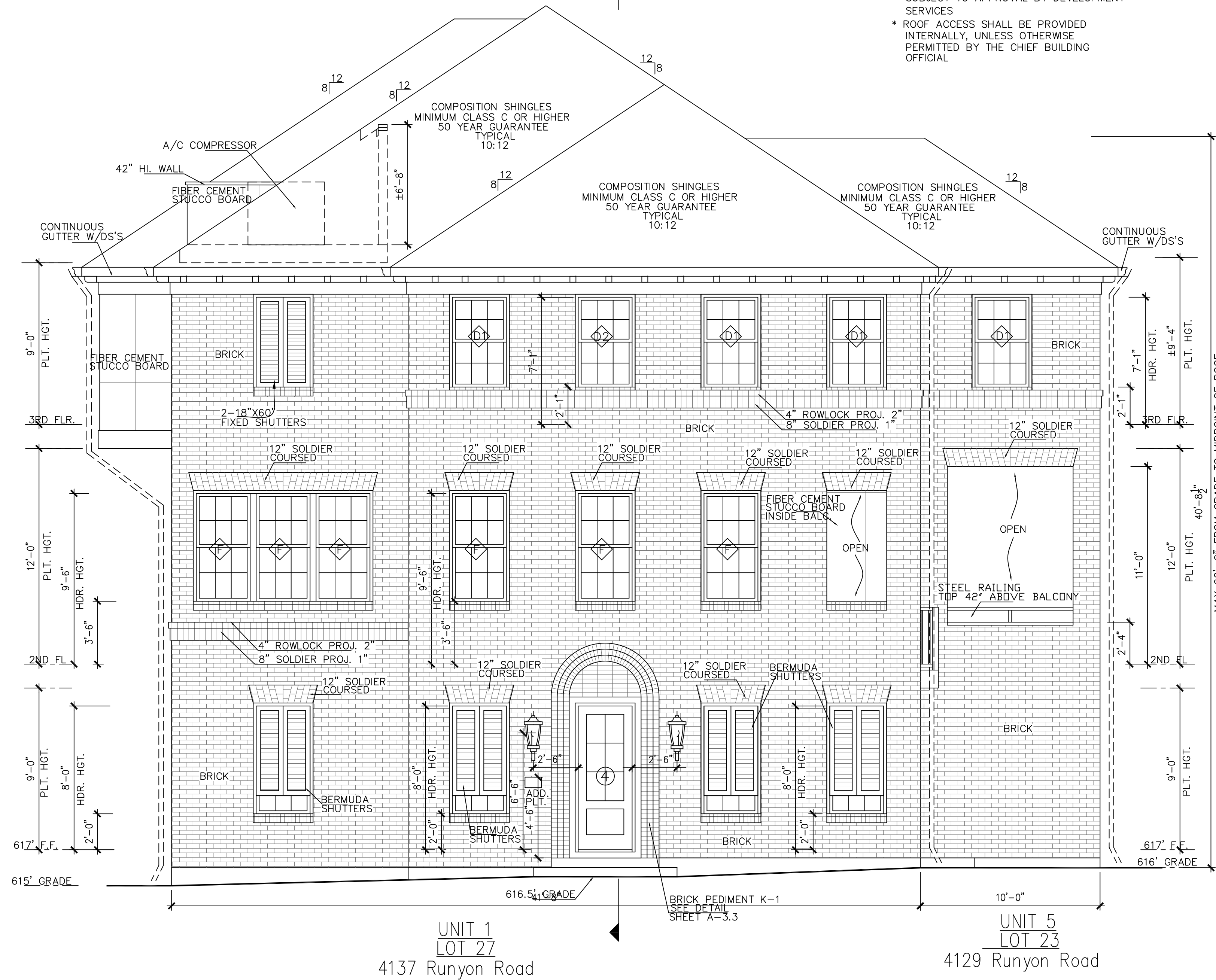
NORTH/LEFT

MATERIAL CALCULATION TABLE

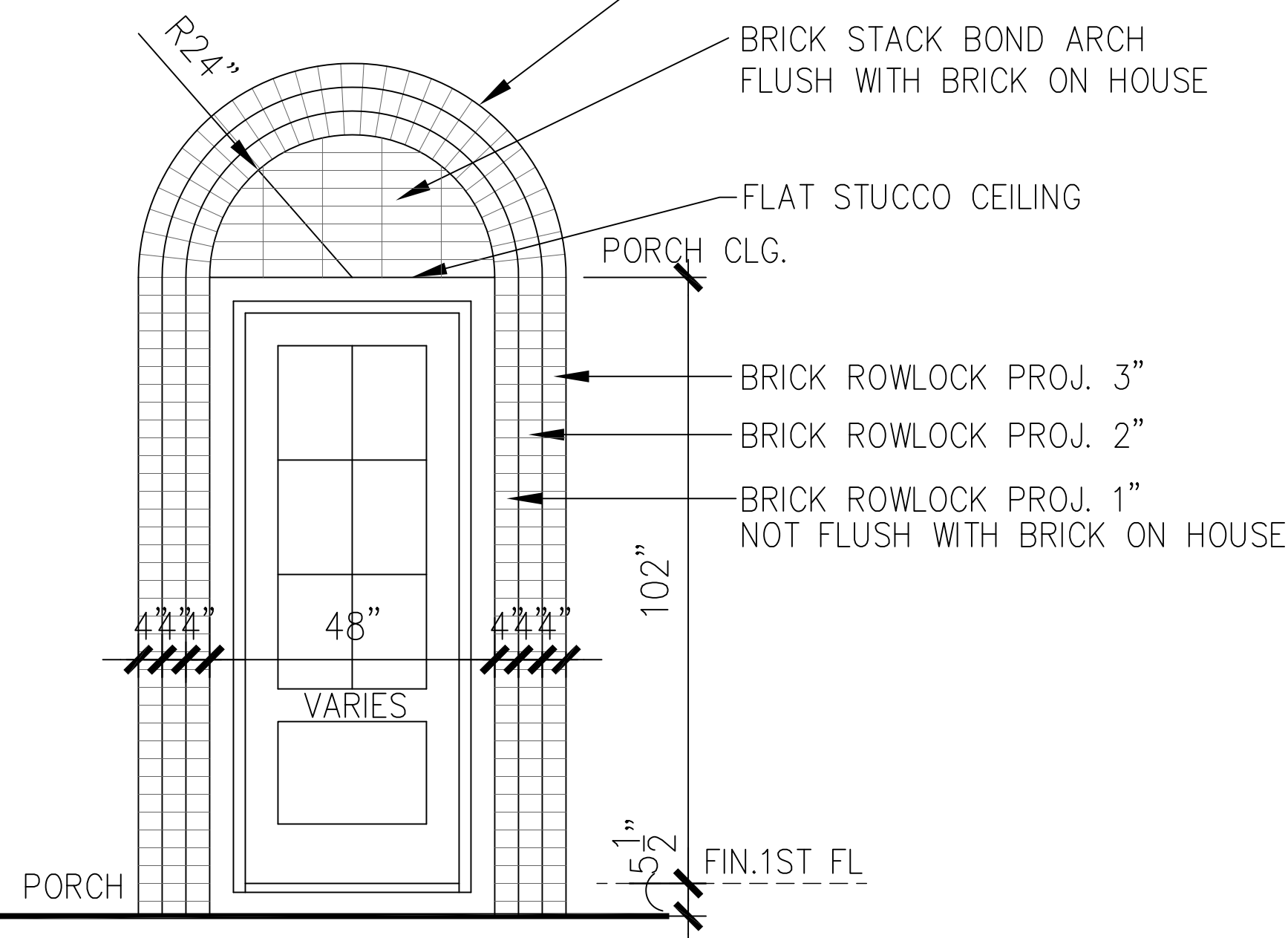
BRICK	1229	95.3%
STUCCO BOARD	61	4.7%
GLAZING	322	20.0%
TOTAL SURFACE AREA	1612	

4.1A

- ELEVATION NOTES**
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NOTE: ALL PROJECTIONS & RECESSES ARE TAKEN FROM THE STANDARD BRICK WALL ON HOUSE



BRICK PEDIMENT K-1
SCALE: 1/2" = 1'-0"

south/left(RUNYON ROAD) elevation

SCALE: 1/4" = 1'-0"
0 4' 8'

Drawn By/Checked By: A.G./F.M.
Original Date Issued: 09/12/2019
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2020

URBANINTOWNHOMES

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ADDISON GROVE - BLOCK A - BUILDING 6

SOUTH / LEFT ELEVATIONS

ADDISON GROVE

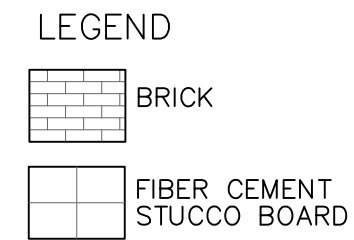
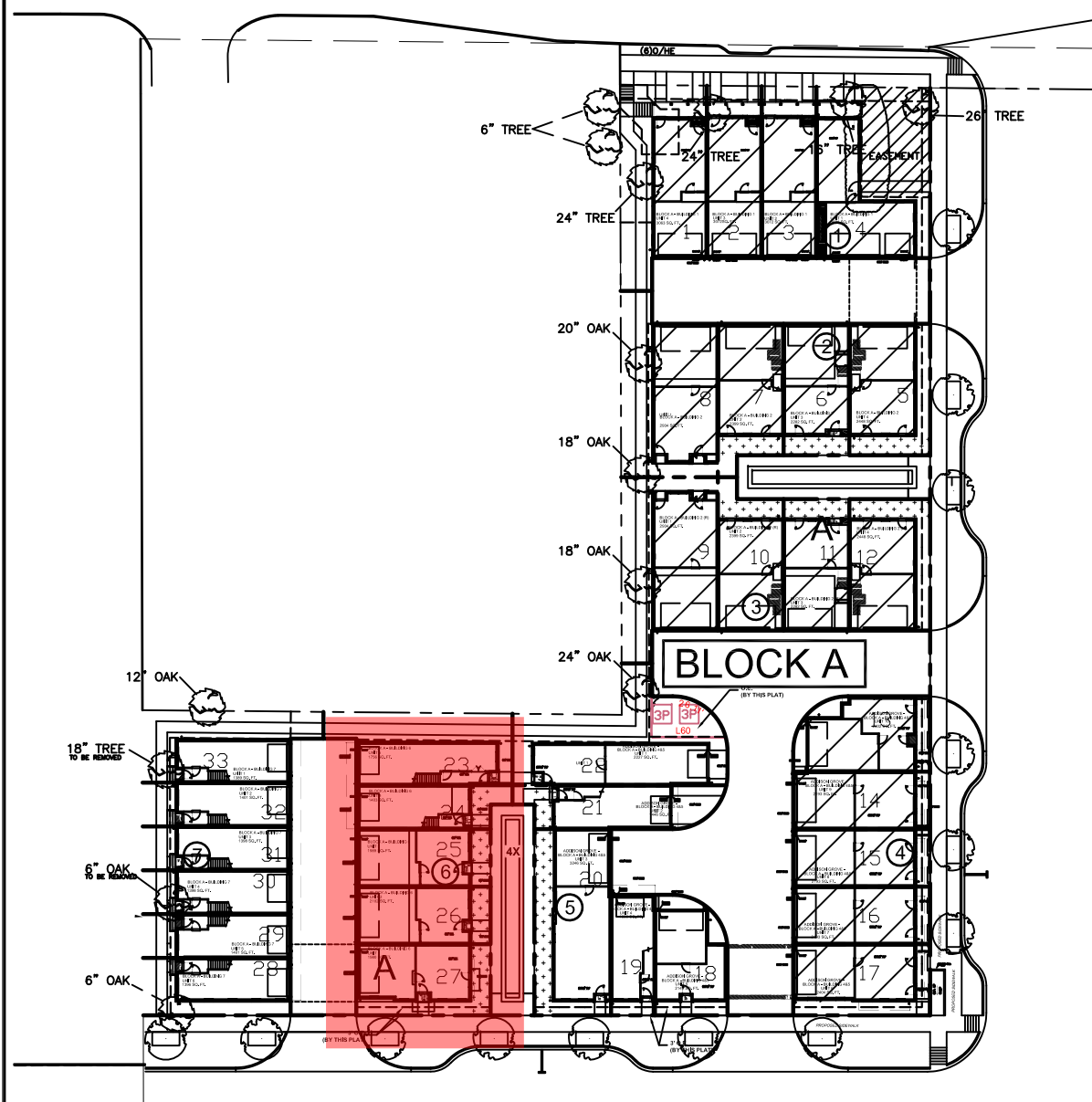
PLAN NO.

UNIT 1	1980.4
UNIT 2	2102.4
UNIT 3	1989.4
UNIT 4	1403.1
UNIT 5	1756

SHEET NO.

A-3.3

URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



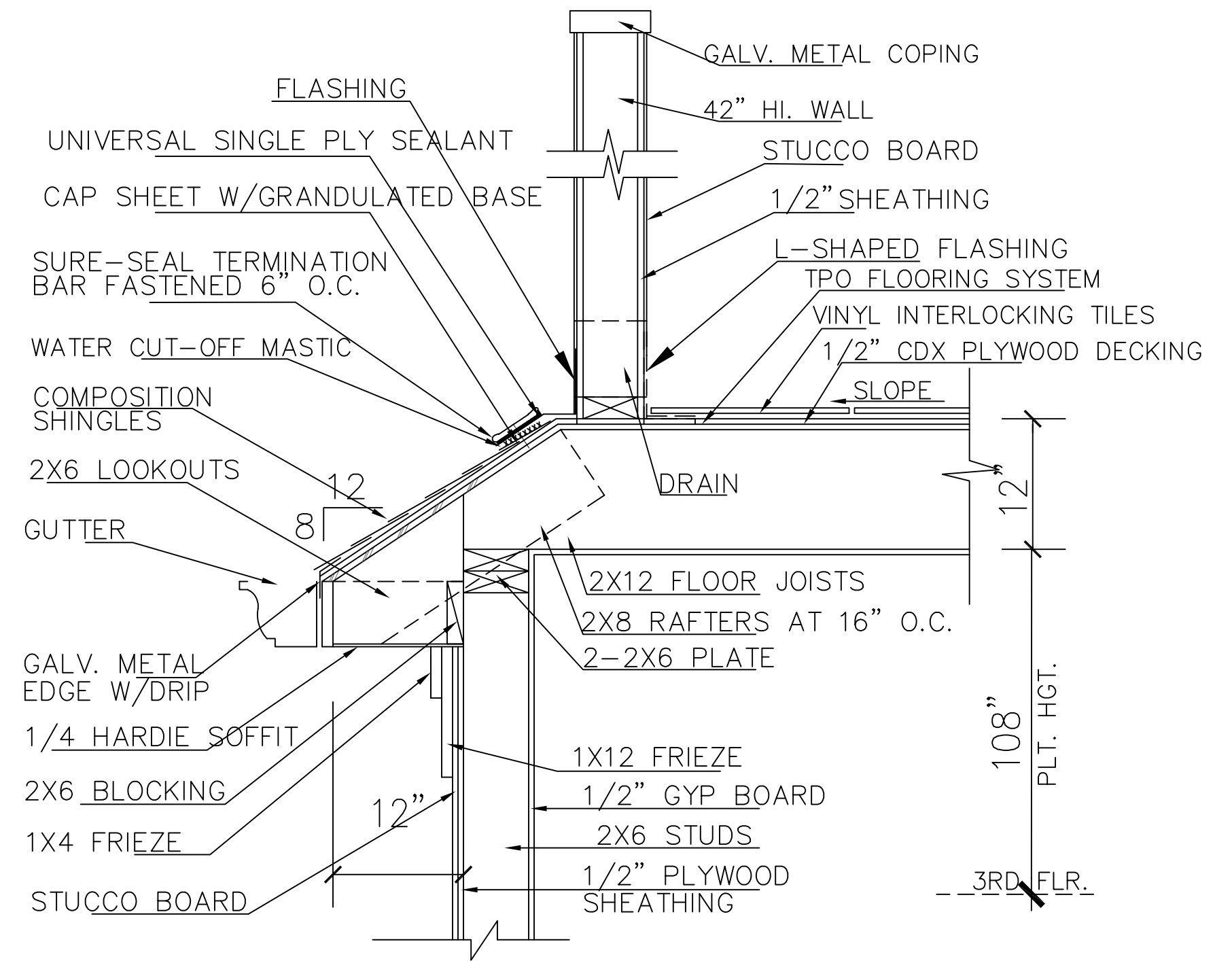
ADDITIONAL BUILDING MATERIALS
 COMPOSITION SHINGLES TYPICAL ROOF
 METAL CLAD WOOD WINDOWS
 STEEL RAILING
 4X4X8 WOOD OF EFS BLOCKS
 2X12 COMPOSITE BOARD 4.1A

SOUTH/RIGHT

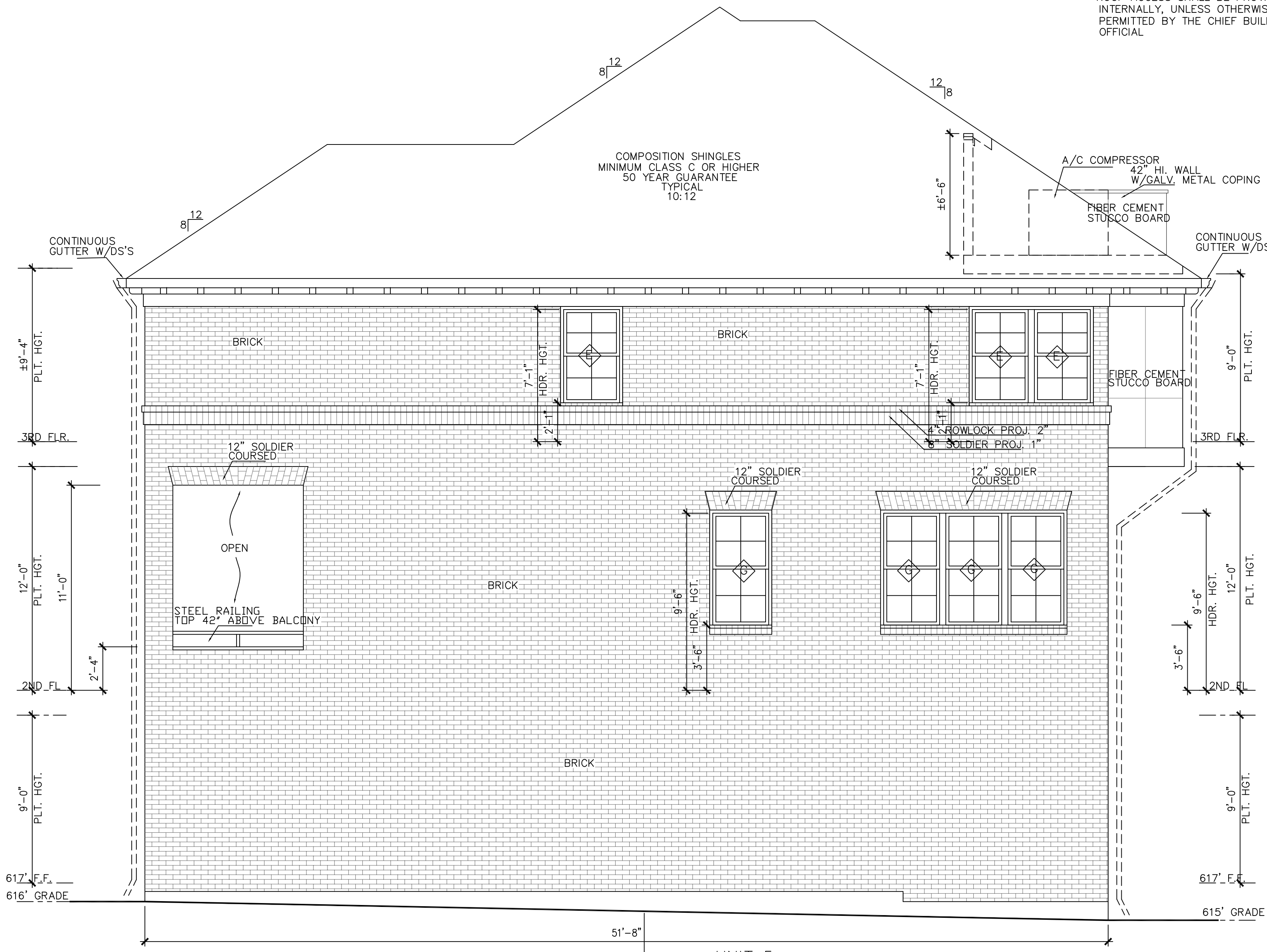
MATERIAL CALCULATION TABLE		
BRICK	1433	97.4%
STUCCO BOARD	39	2.6%
GLAZING	133	8.3%
TOTAL SURFACE AREA	1605	

ELEVATION NOTES

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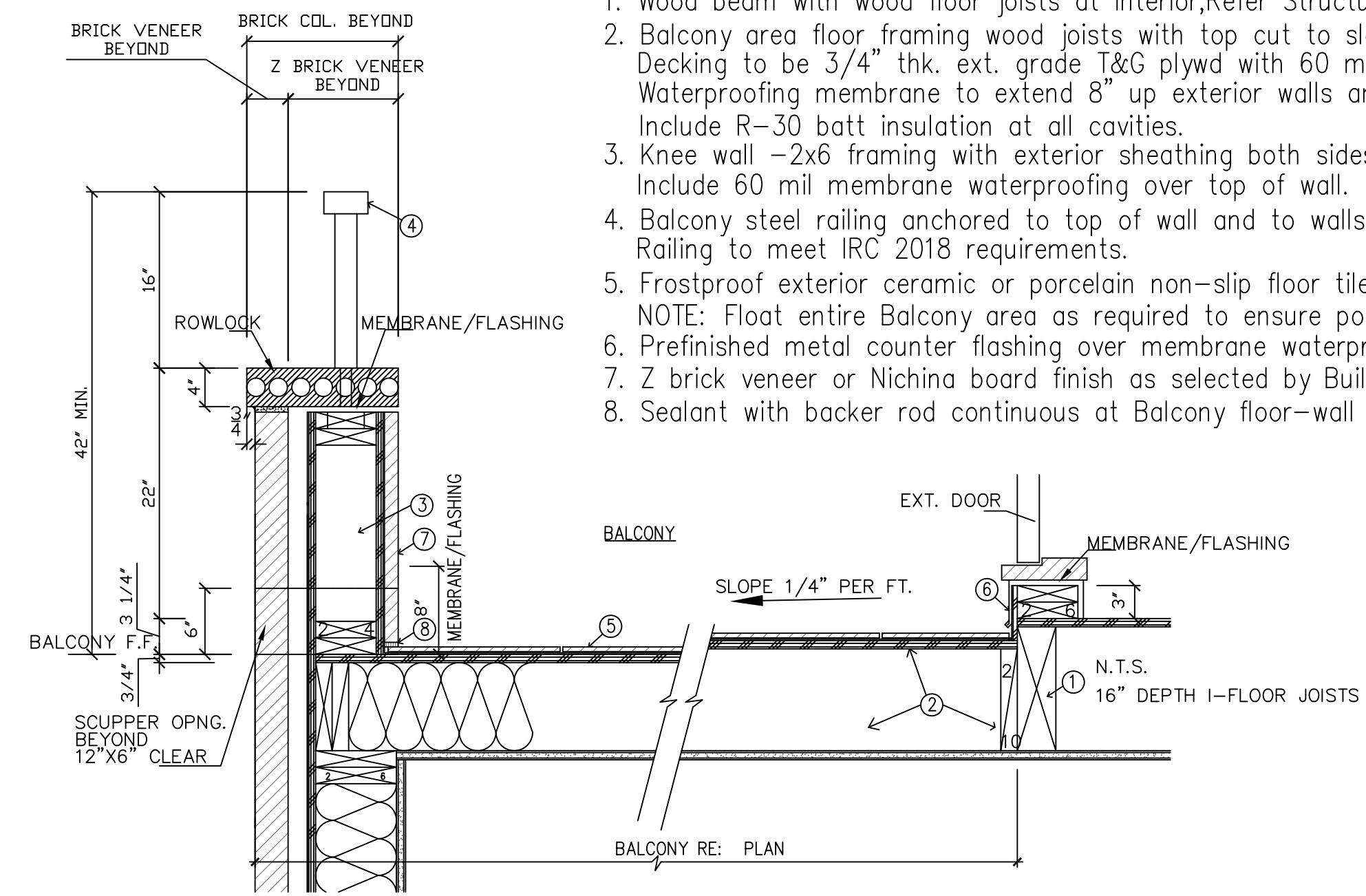
2. SECTION DETAIL-
 A/C COMPRESSOR LOCATION AT ROOF
 SCALE: 1" = 1'-0"



UNIT 5
 LOT 23
 4129 Runyon Road
 north/right elevation
 SCALE: 1/4" = 1'-0"

Balcony Notes/Specifications

1. Wood beam with wood floor joists at interior, Refer Structural PLANS
2. Balcony area floor framing wood joists with top cut to slope 1/4"/Foot. Refer structural plan. Decking to be 3/4" thk. ext. grade T&G plywd with 60 mil membrane waterproofing. Waterproofing membrane to extend 8" up exterior walls and overlap door sill framing. Include R-30 batt insulation at all cavities.
3. Knee wall -2x6 framing with exterior sheathing both sides with Tyvek vapor barrier. Include 60 mil membrane waterproofing over top of wall.
4. Balcony steel railing anchored to top of wall and to walls beyond. Railing to meet IRC 2018 requirements.
5. Frostproof exterior ceramic or porcelain non-slip floor tile, thin set.
 NOTE: Float entire Balcony area as required to ensure positive drainage to scupper opening.
6. Prefinished metal counter flashing over membrane waterproofing.
7. Z brick veneer or Nichina board finish as selected by Builder.
8. Sealant with backer rod continuous at Balcony floor-wall intersection.



3. SECTION DETAIL-BALCONY
 SCALE: 1" = 1'-0"

Drawn By/Checked By: A.G./F.M.
 Original Date Issued: 09/12/2019
 Scale: 1/4" = 1'-0"
 Last Updated: 06/03/2020

URBANINTOWNHOMES

1520 OLIVER STREET, HOUSTON, TX 77007
 (713)880-4811 TEL (713)426-4410 FAX

ADDISON GROVE - BLOCK A - BUILDING 6

NORTH / RIGHT ELEVATIONS

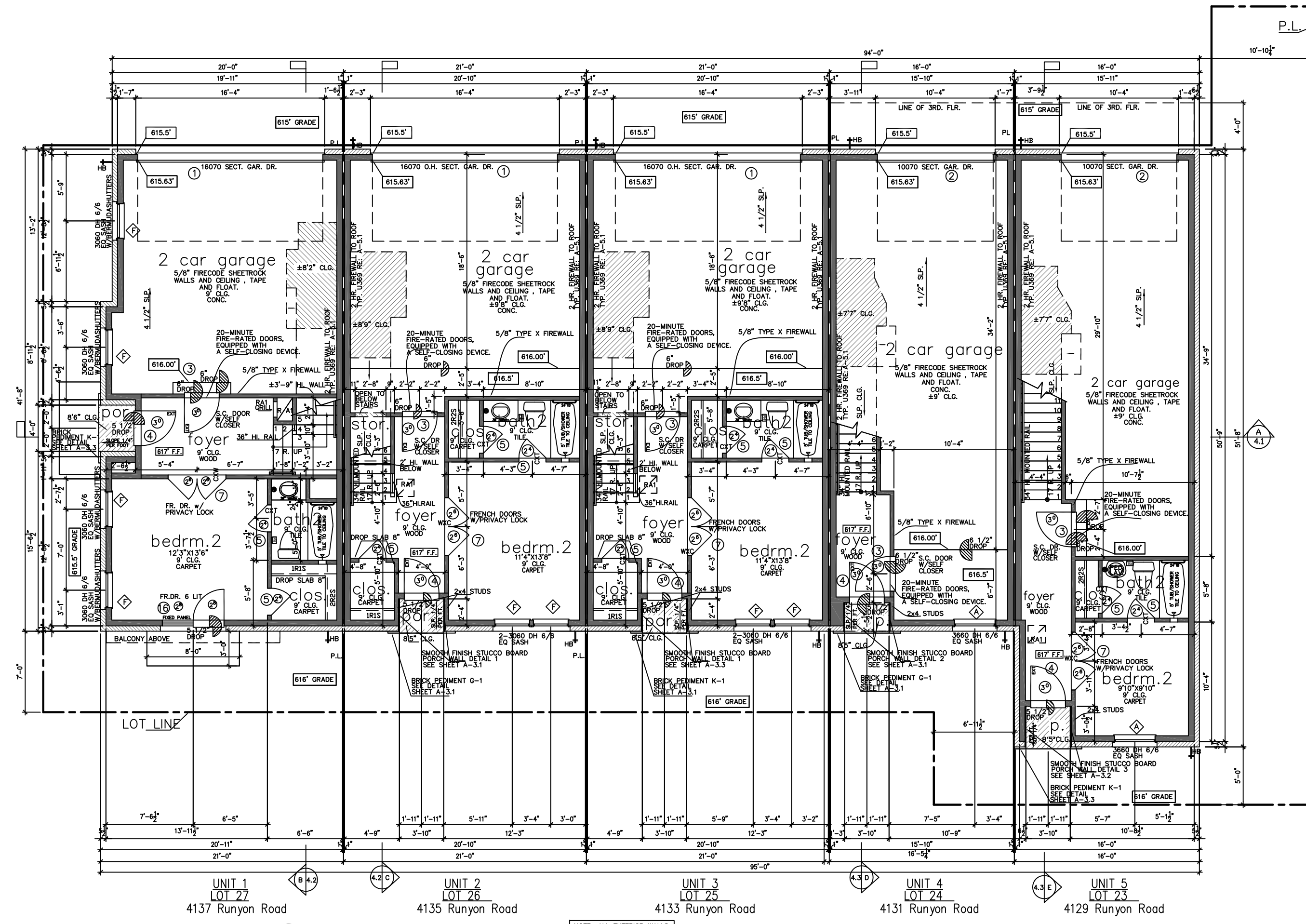
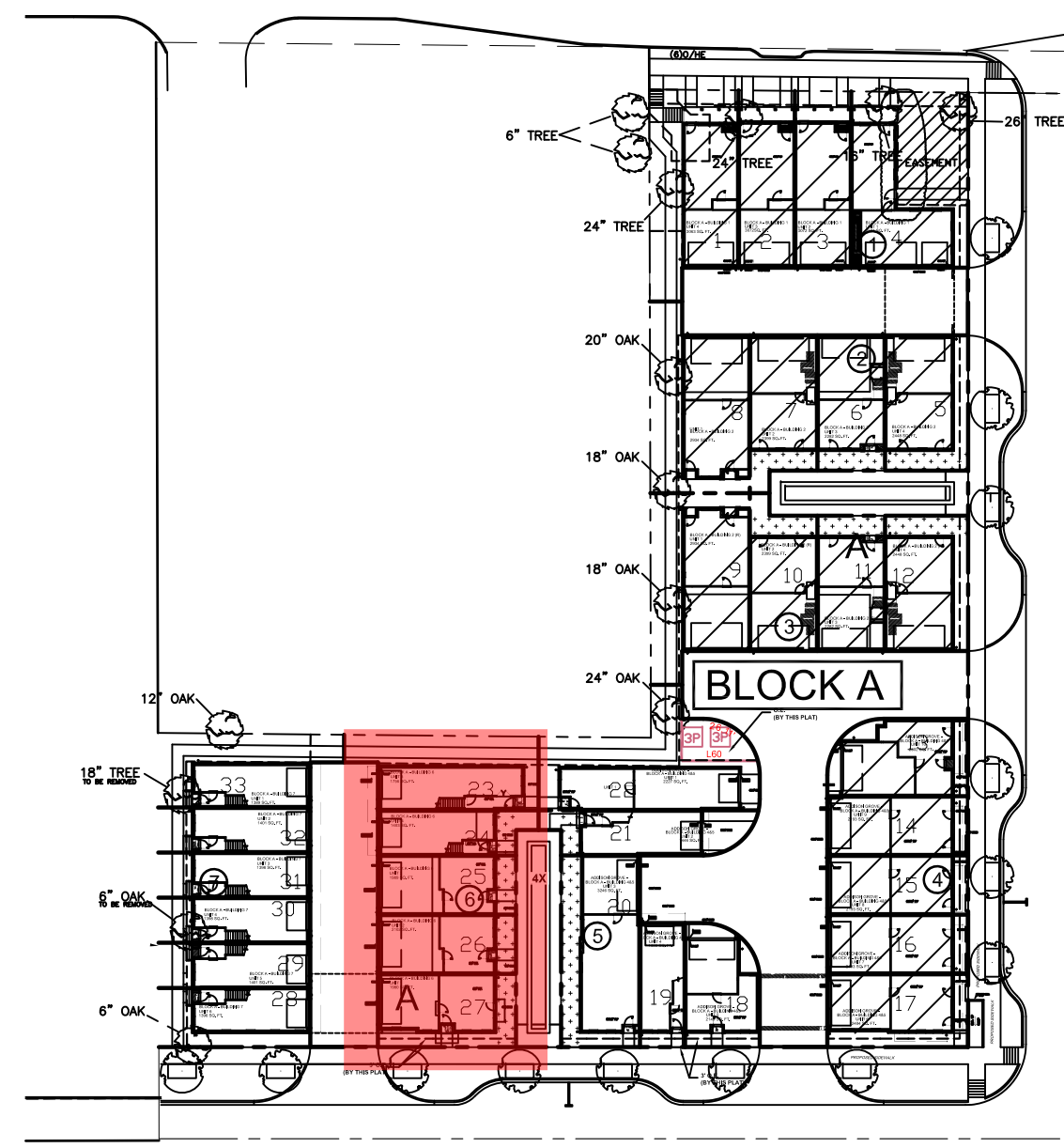
ADDISON GROVE

PLAN NO.	
UNIT 1	1880.4
UNIT 2	2102.4
UNIT 3	1889.4
UNIT 4	1403.1
UNIT 5	1756

SHEET NO.

A-3.4

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877



unit 1 square footage	
FIRST FLOOR	442
SECOND FLOOR	733
THIRD FLOOR	1980
TOTAL LIVING AREA	1980
PORCH	434
GARAGE	114
BALCONY	8
AC DECK	83
TOTAL SLAB AREA	848

unit 2 square footage	
FIRST FLOOR	443
SECOND FLOOR	870
THIRD FLOOR	1980
TOTAL LIVING AREA	2000
PORCH	441
GARAGE	114
BALCONY	8
AC DECK	83
TOTAL SLAB AREA	875

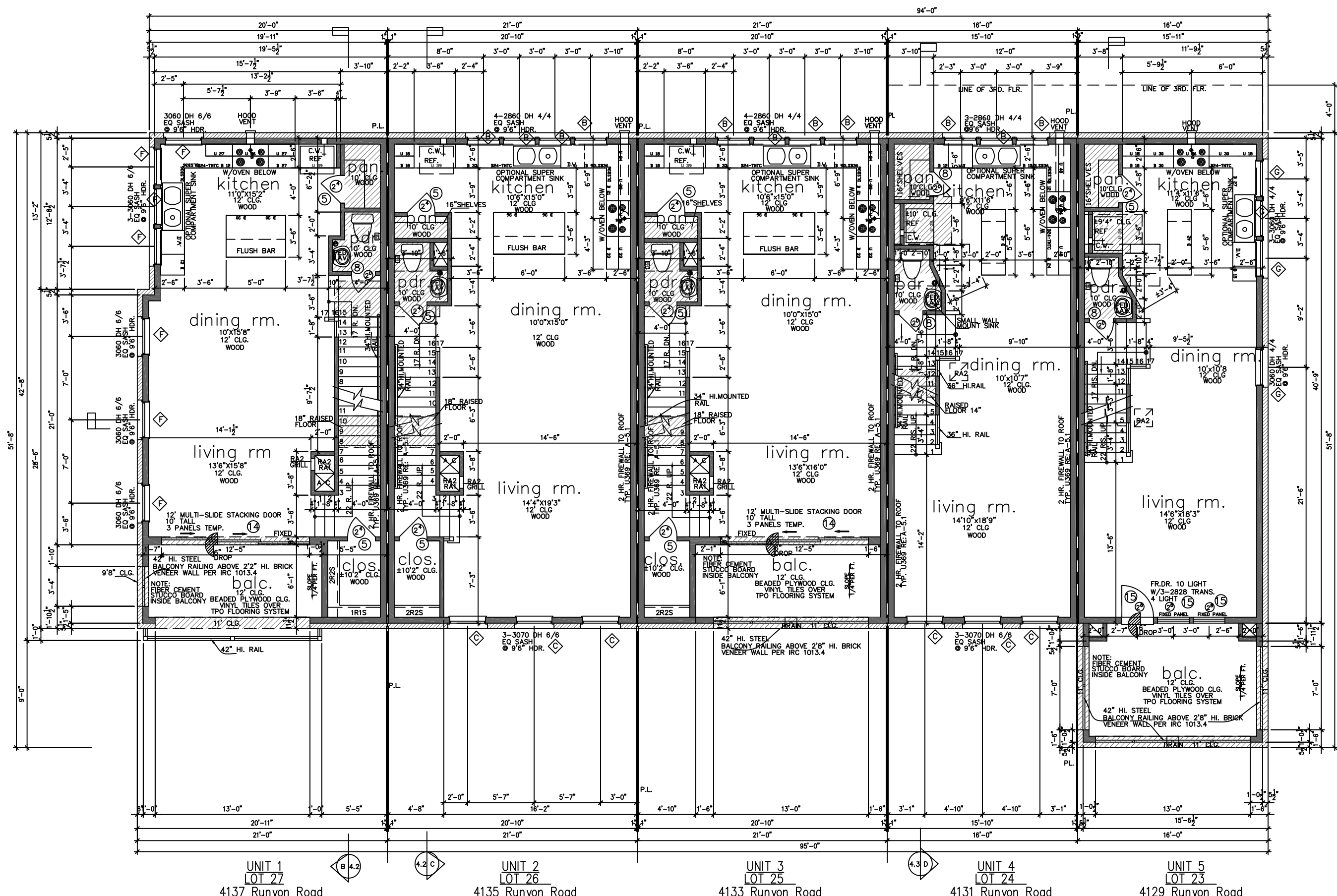
unit 3 square footage	
FIRST FLOOR	442
SECOND FLOOR	746
THIRD FLOOR	804
TOTAL LIVING AREA	1992
PORCH	11
GARAGE	11
BALCONY	13
AC DECK	41
TOTAL SLAB AREA	875

unit 4 square footage	
FIRST FLOOR	39
SECOND FLOOR	847
THIRD FLOOR	877
TOTAL LIVING AREA	1463
PORCH	18
GARAGE	18
BALCONY	18
AC DECK	46
TOTAL SLAB AREA	397

unit 5 square footage	
FIRST FLOOR	470
SECOND FLOOR	899
THIRD FLOOR	805
TOTAL LIVING AREA	1774
PORCH	13
GARAGE	13
BALCONY	17
AC DECK	41
TOTAL SLAB AREA	367

NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED RE. STRUCTURAL PLANS
 NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE REQUIRED IN ACCORDANCE WITH UL 320 AS REQUIRED IN THE REC SECTION RING 4.
 NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	1980	3
UNIT 2	2102	3
UNIT 3	1989	3
UNIT 4	1403	2
UNIT 5	1756	3



NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED RE. STRUCTURAL PLANS

ADDISON GROVE

URBANINTOWN HOMES

ADDISON GROVE - BLOCK A - BUILDING 6

FLOOR PLAN

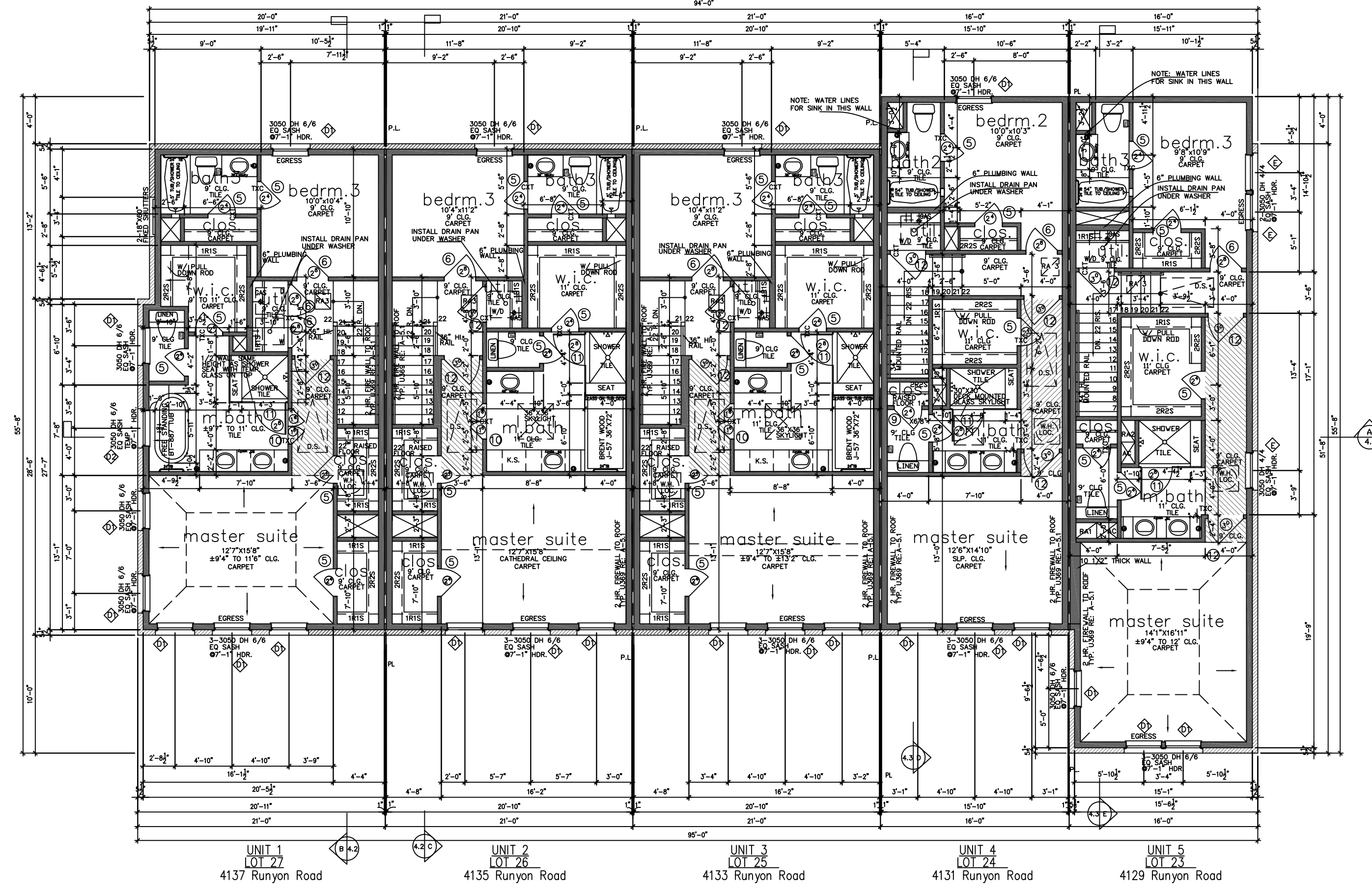
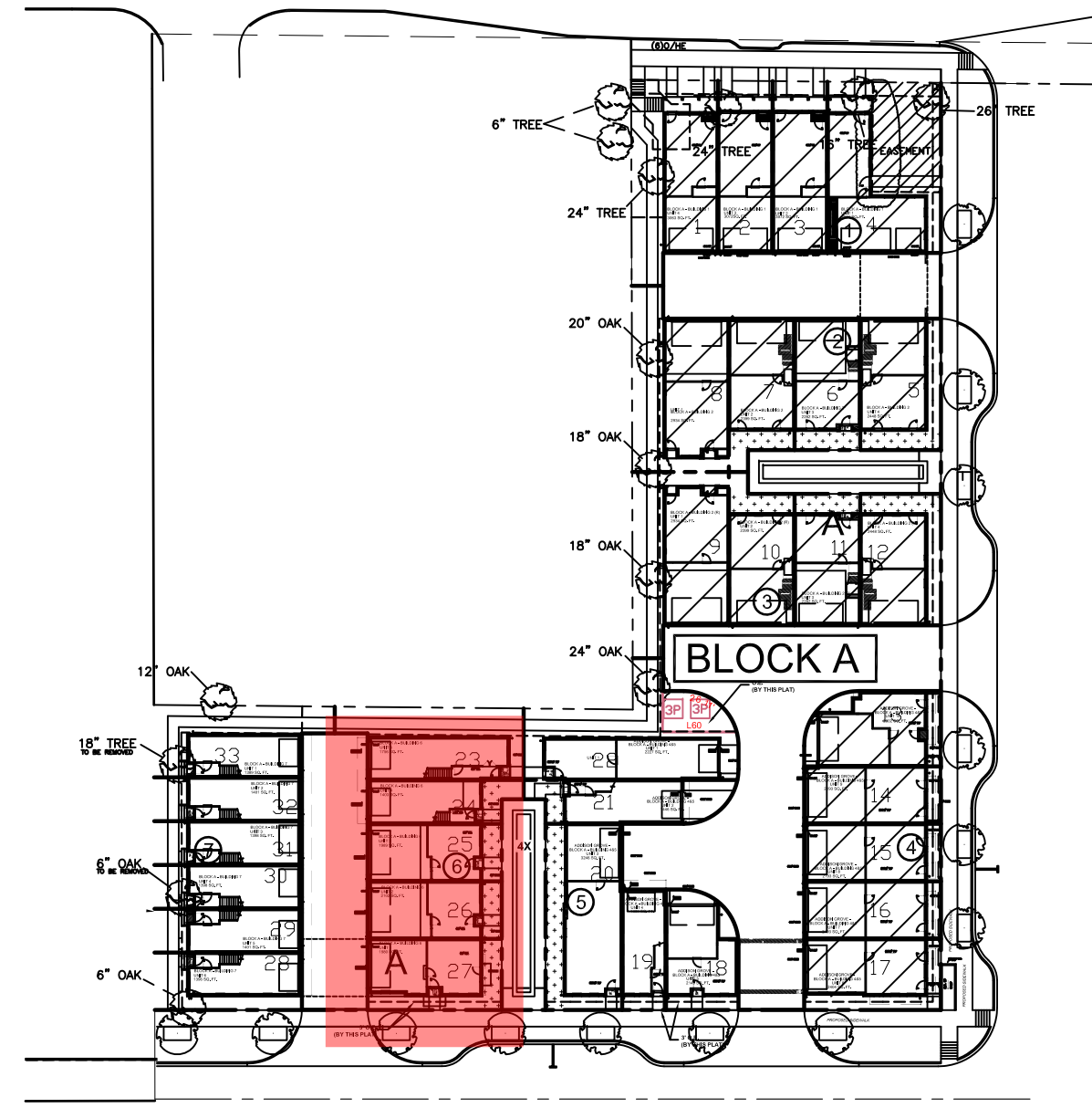
PLAN NO.	UNIT
1980	UNIT 1
2102	UNIT 2
1989	UNIT 3
1403	UNIT 4
1756	UNIT 5

SHEET NO. A-2.1

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877

Drawn By/Checked By: A.G./F.M.
 Original Date Issued: 09/12/2019
 Scale: 1/8" = 1'-0"
 Last Updated: 06/03/2020

Town Project #: 1821-Z



Third Floor Plan
 NORTH
 SCALE: 1/8" = 1'-0"
 NOTE: ALL EXTERIOR WALLS TO BE 2x6 FRAMED RE: STRUCTURAL PLANS

Drawn By/Checked By: A.C./F.M.
 Original Date Issued: 09/12/2019
 Scale: 1/4" = 1'-0"
 Last Updated: 06/03/2020

URBANINTOWNHOMES

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ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 6

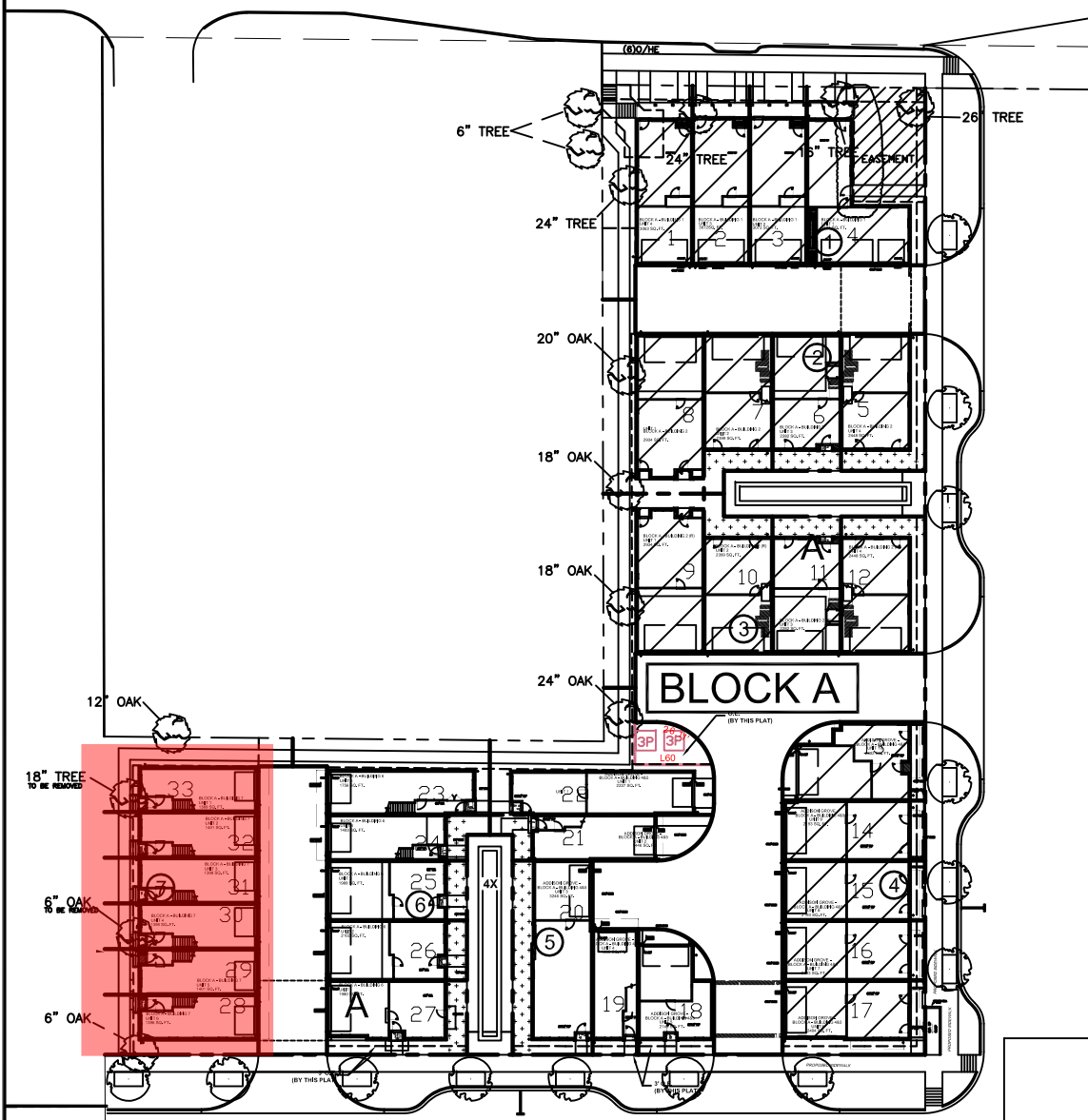
FLOOR PLAN

PLAN NO.	UNIT 1	1980.4
	UNIT 2	2102.4
	UNIT 3	1989.4
	UNIT 4	1403.1
	UNIT 5	1756

SHEET NO.

A-2.2

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

- UNIT 1&2&3&4&5&6
- COMPOSITION SHINGLES TYPICAL ROOF
 - METAL CLAD WOOD WINDOWS
 - 4X4X8 WOOD OF EIFS BLOCKS
 - COMPOSITE PEDIMENT

WEST/FRONT

MATERIAL CALCULATION TABLE	
BRICK	1990 100%
GLAZING	1128 36.2%
TOTAL SURFACE AREA	3118

FACADE PLAN NOTES

- * THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- * ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE
- * WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
- * ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
- * ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL



URBANINTOWNHOMES

ADDISON GROVE - BLOCK A - BUILDING 7

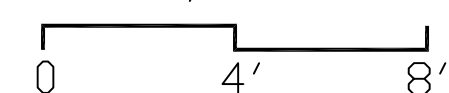
1520 OLIVER STREET, HOUSTON, TX 77007
(713)880-4811 TEL (713)426-4410 FAX

Drawn By/Checked By: C.L./F.M.
Original Date Issued: 11/07/2019
Scale: 1/4" = 1'-0"
Last Updated: 03/02/2021

WEST / FRONT ELEVATION

west/front elevation

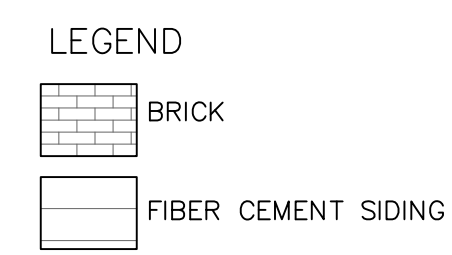
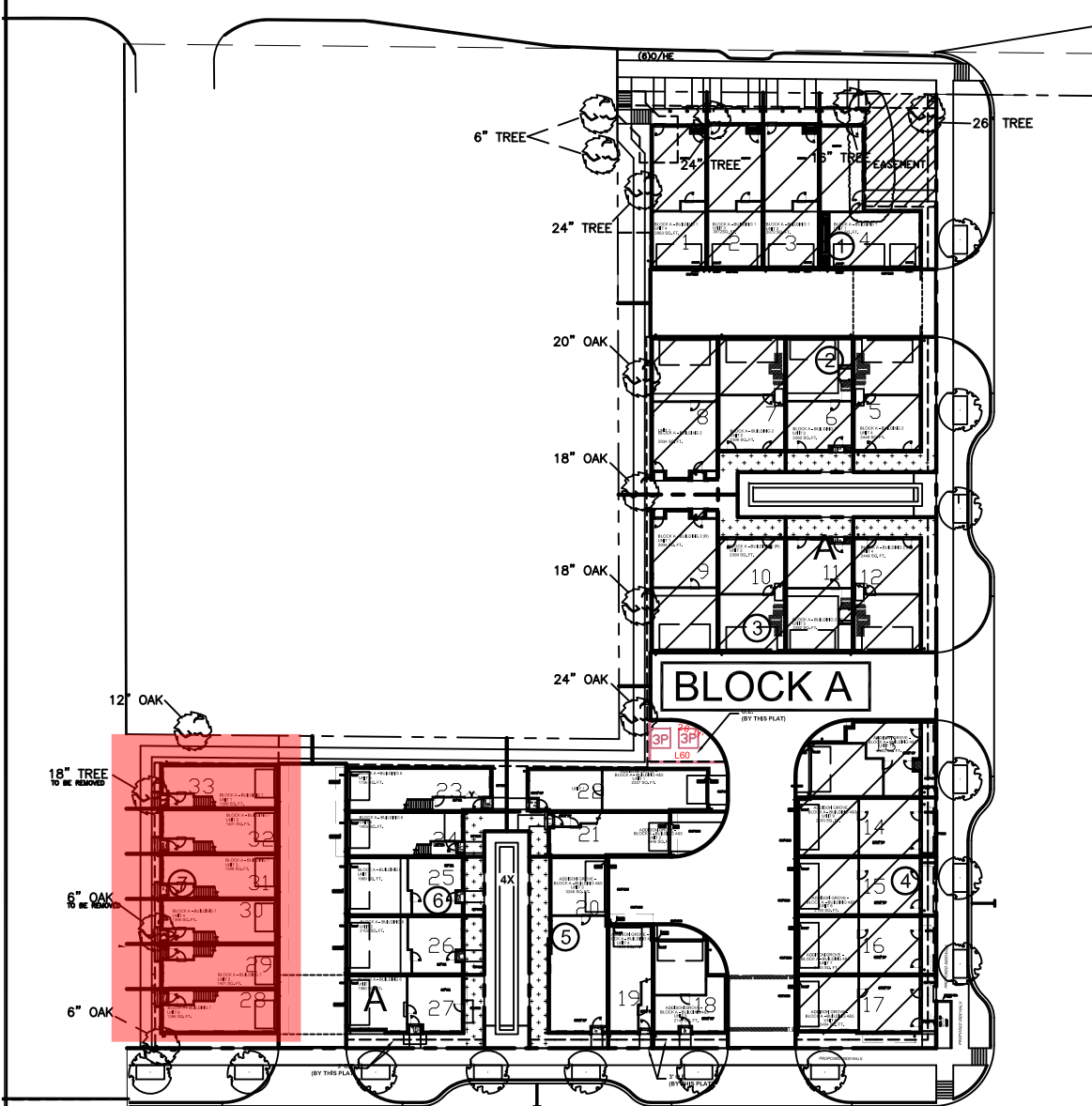
SCALE: 1/4" = 1'-0"



URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877

PLAN NO.
UNIT 1 - 1389
UNIT 2 - 1401.4
UNIT 3 - 1398.3
UNIT 4 - 1398.4
UNIT 5 - 1401.5
UNIT 6 - 1398

SHEET NO.
A-3.1



EAST/REAR MATERIAL CALCULATION TABLE

FIBER CEMENT SIDING	1066	41.1%
BRICK	1530	58.9%
GLAZING	326	11.1%
TOTAL SURFACE AREA	2927	

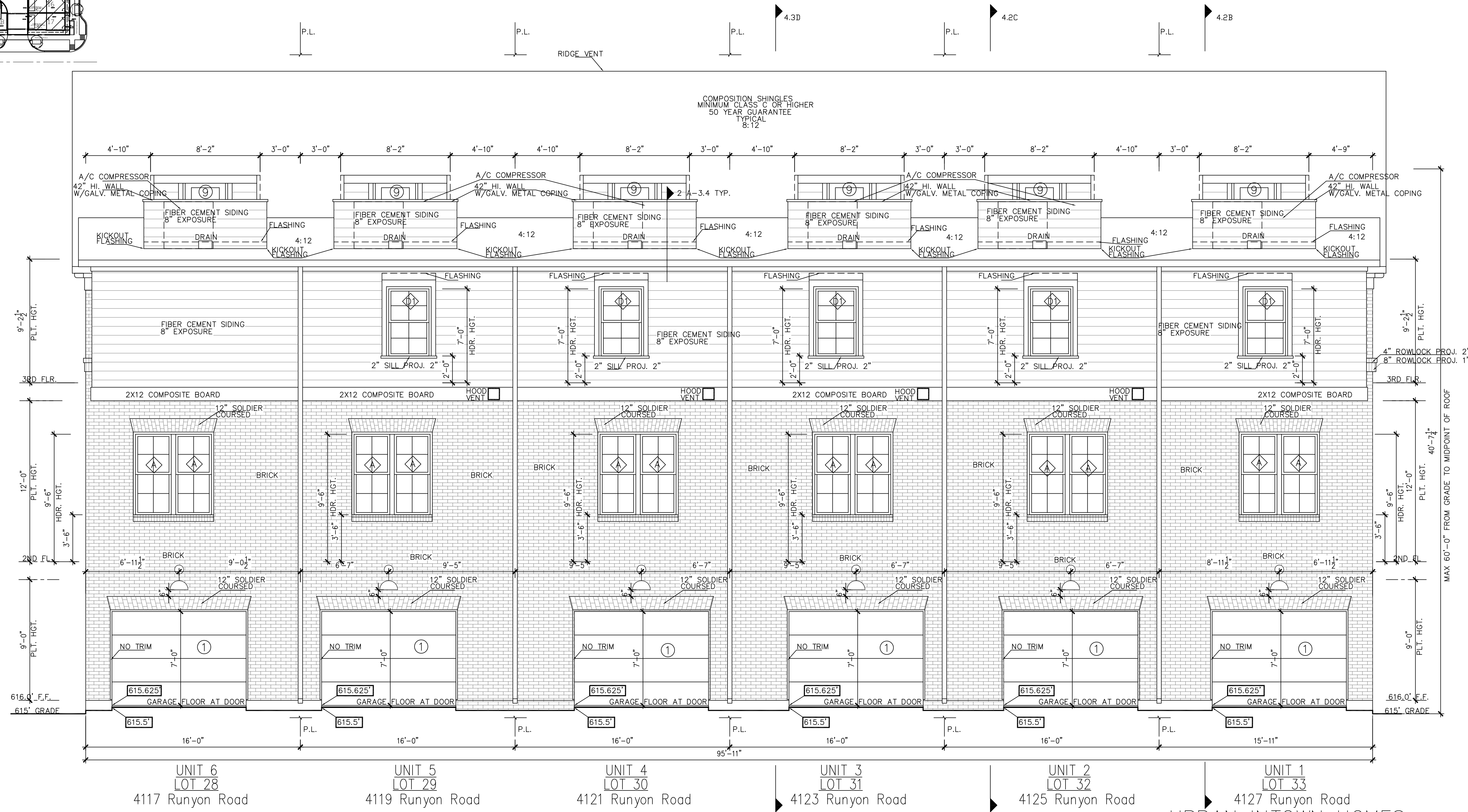
ADDITIONAL BUILDING MATERIALS

UNIT 1&2&3&4&5&6

- * COMPOSITION SHINGLES TYPICAL ROOF
- * METAL CLAD WOOD WINDOWS
- * 4X4X8 WOOD OF EIFS BLOCKS

FACADE PLAN NOTES

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- * ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL



Drawn By/Checked By: C.L./F.M.
 Original Date Issued: 11/07/2019
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URBANINTOWNHOMES
 1520 OLIVER STREET, HOUSTON, TX 77007
 (713)880-4811 TEL (713)426-4410 FAX

ADDISON GROVE - BLOCK A - BUILDING 7
EAST / REAR ELEVATION

PLAN NO. 1389

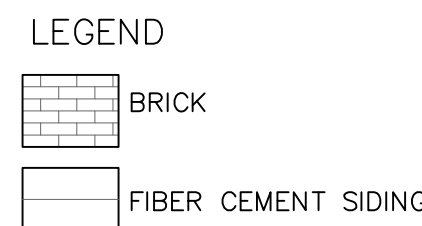
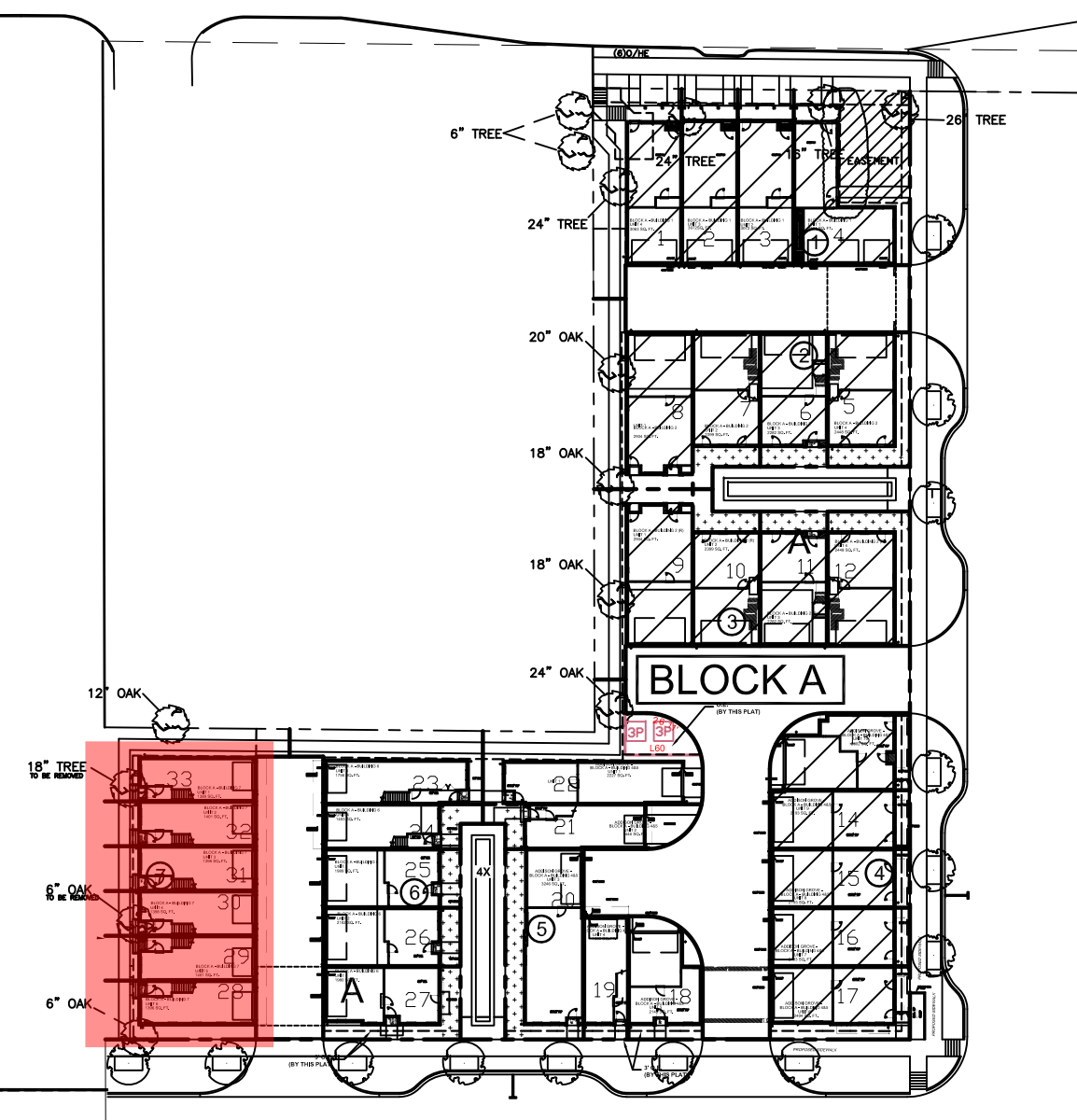
UNIT 1	1401.4
UNIT 2	1388.2
UNIT 3	1398.4
UNIT 4	1401.6
UNIT 5	1398.4
UNIT 6	1398.4

SHEET NO.

A-3.2

east/rear(alley) elevation
 SCALE: 1/4" = 1'-0"
 0 4' 8'

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877



ADDITIONAL BUILDING MATERIALS

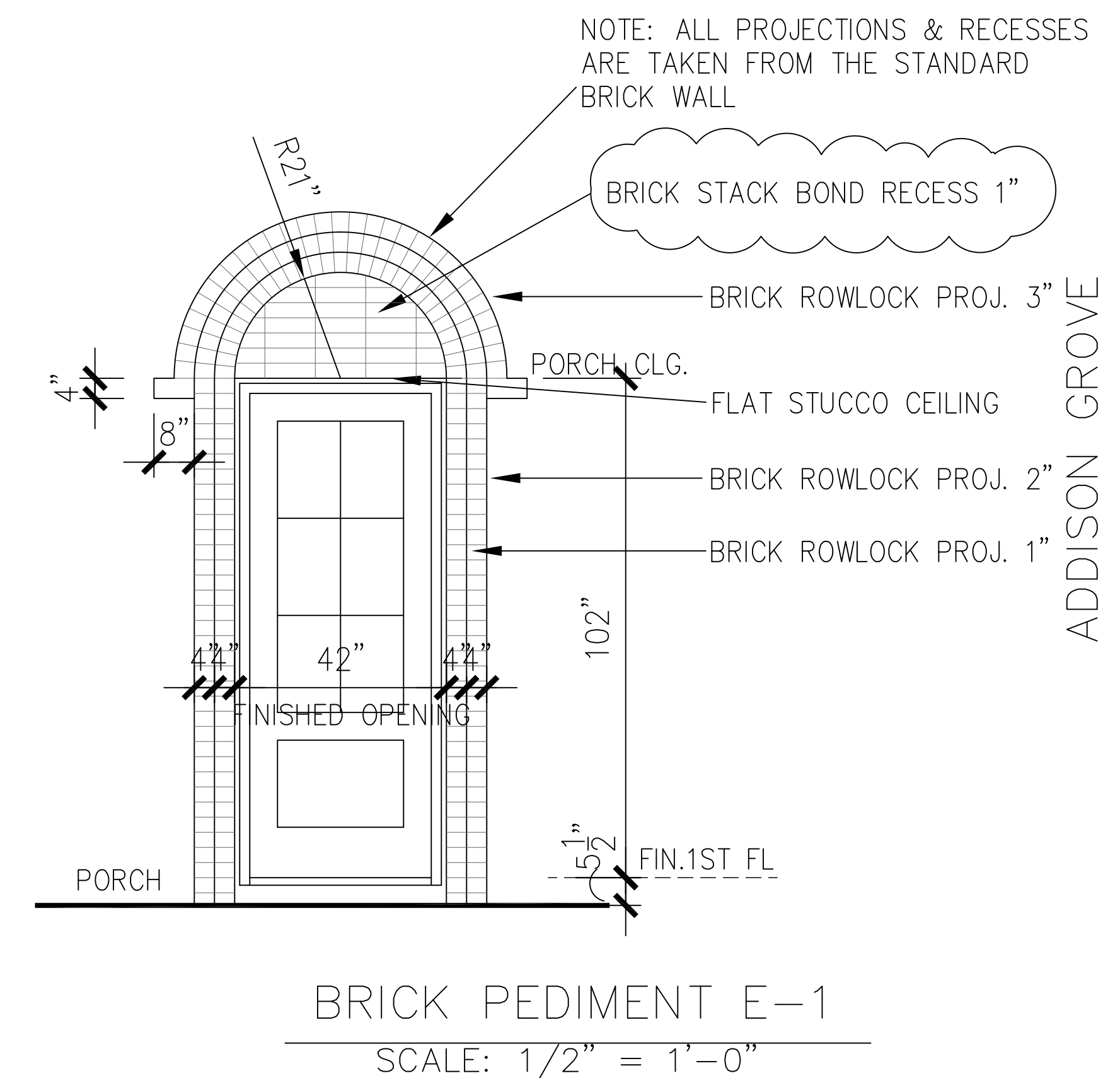
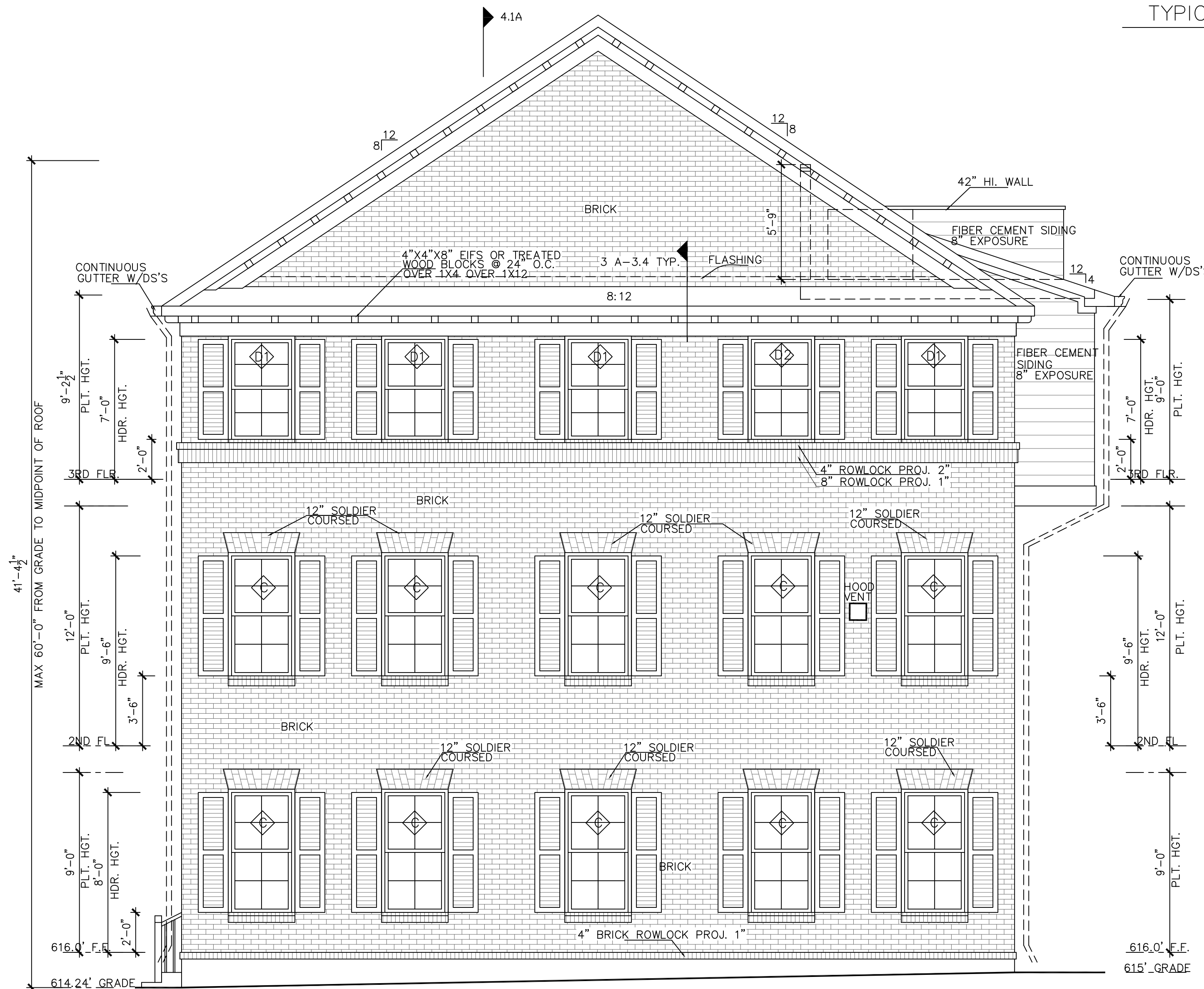
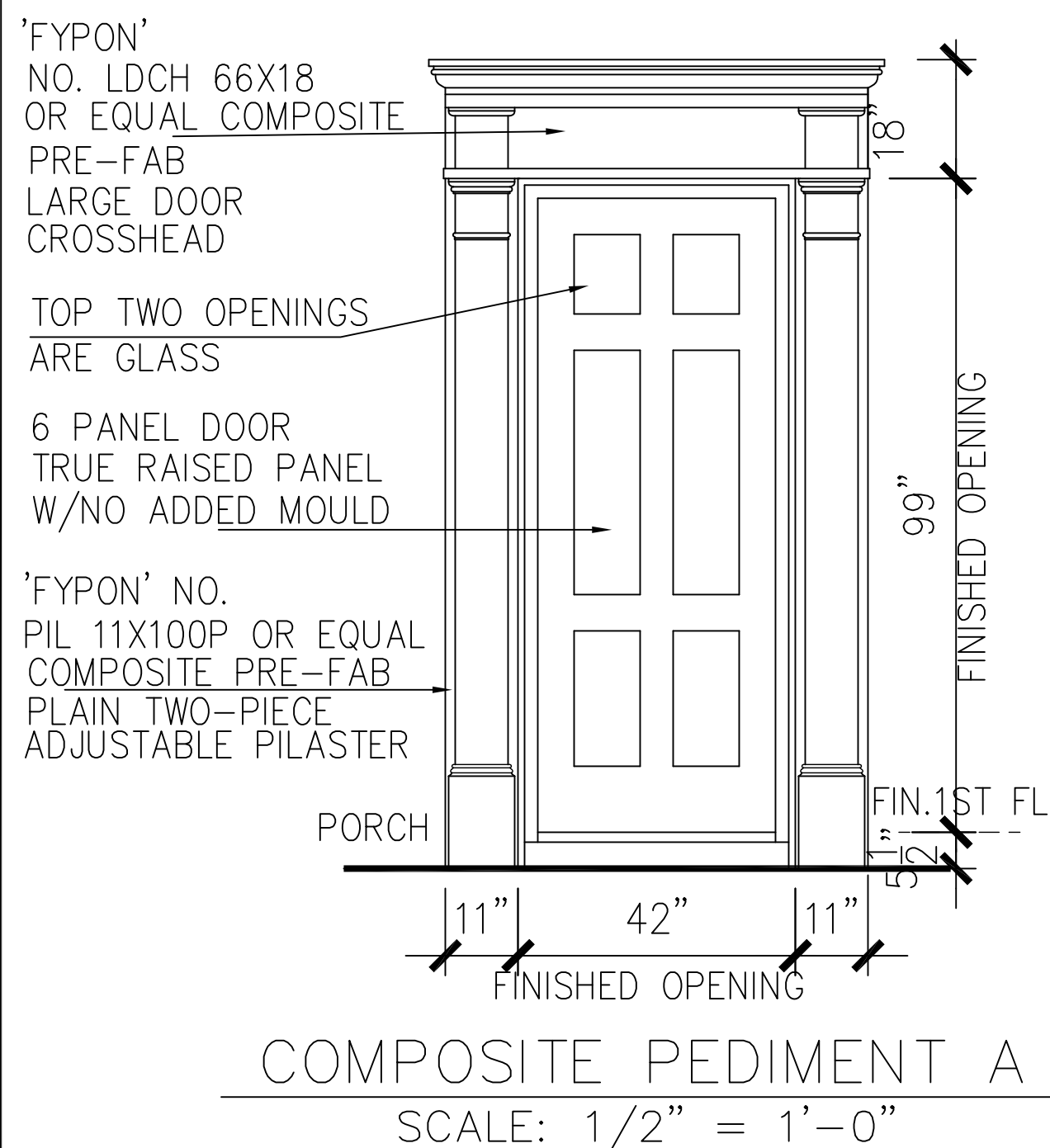
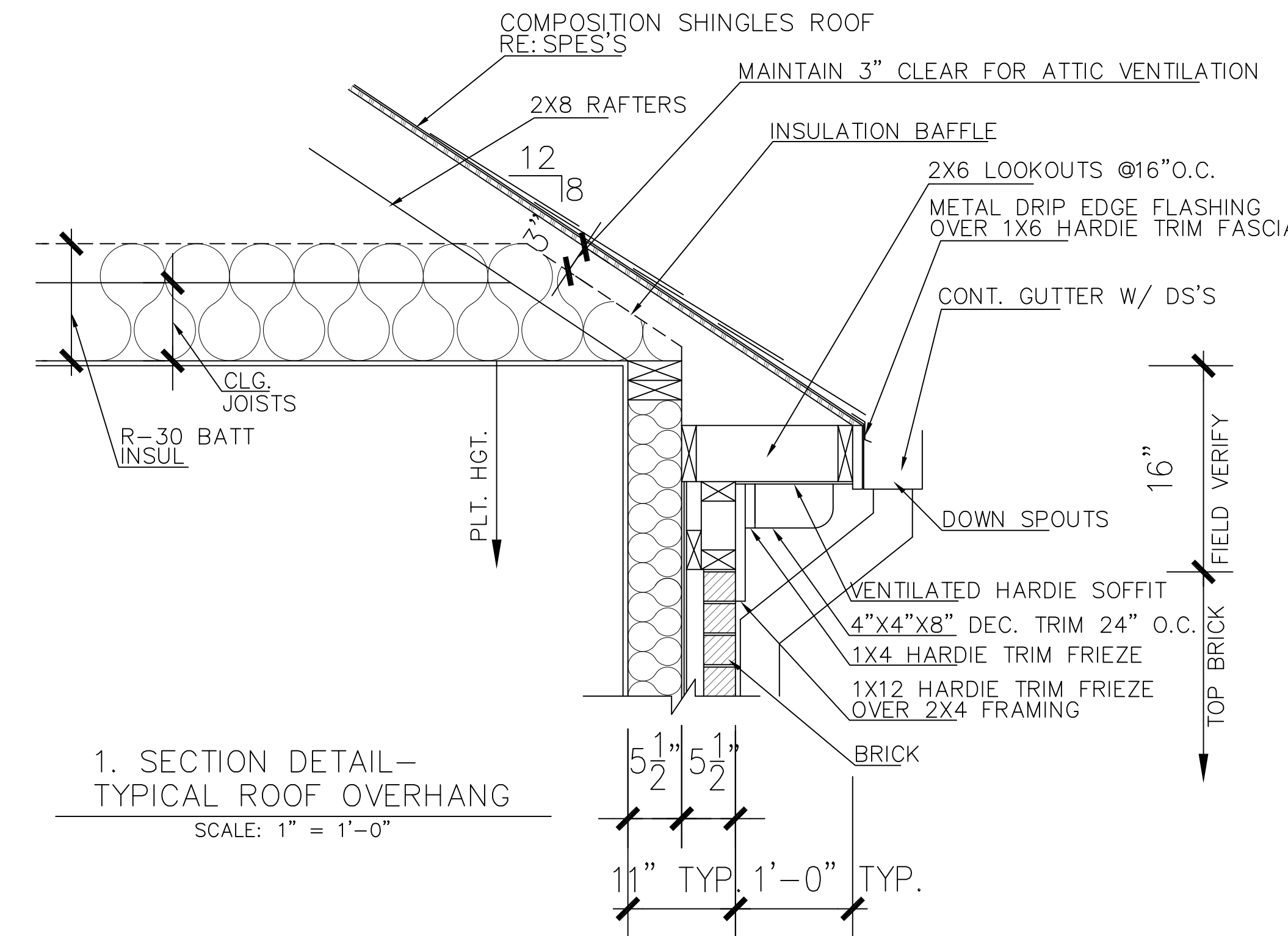
- UNIT 6**
- * COMPOSITION SHINGLES TYPICAL ROOF
 - * METAL CLAD WOOD WINDOWS
 - * FIXED SHUTTER
 - * 4X4X8 WOOD OF EIFS BLOCKS

FACADE PLAN NOTES

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SOUTH/RIGHT

MATERIAL CALCULATION TABLE		
BRICK	1222	95.4%
FIBER CEMENT SIDING	59	4.6%
GLAZING	285	18.2%
TOTAL SURFACE AREA	1566	



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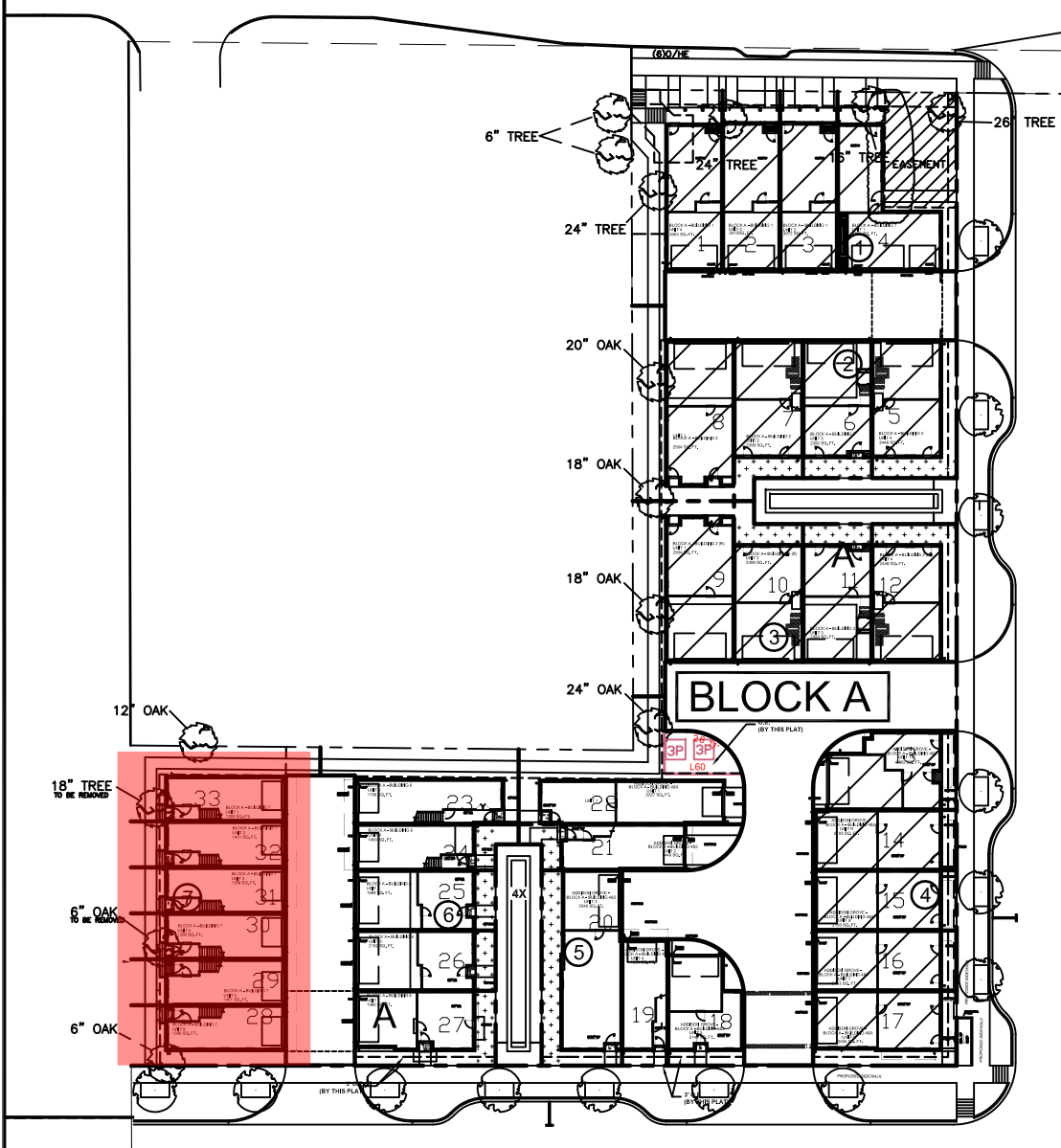
URBANINTOWNHOMES
1520 OLIVER STREET, HOUSTON, TX 77007
(713)880-4811 TEL (713)426-4410 FAX

ADDISON GROVE - BLOCK A - BUILDING 7
SOUTH / RIGHT ELEVATION

PLAN NO.
UNIT 1 - 1389
UNIT 2 - 1401-4
UNIT 3 - 1388-3
UNIT 4 - 1388-4
UNIT 5 - 1401-5
UNIT 6 - 1396

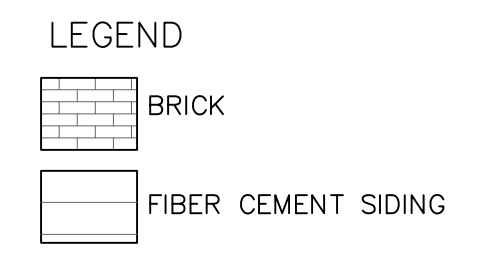
SHEET NO.
A-3.3

URBAN INTOWN HOMES
1520 OLIVER, HOUSTON, TX 77007
PHONE: 713-961-3877



NORTH/LEFT

MATERIAL CALCULATION TABLE		
BRICK	1513	96.2%
FIBER CEMENT SIDING	59	3.8%
GLAZING	56	3.4%
TOTAL SURFACE AREA	1628	



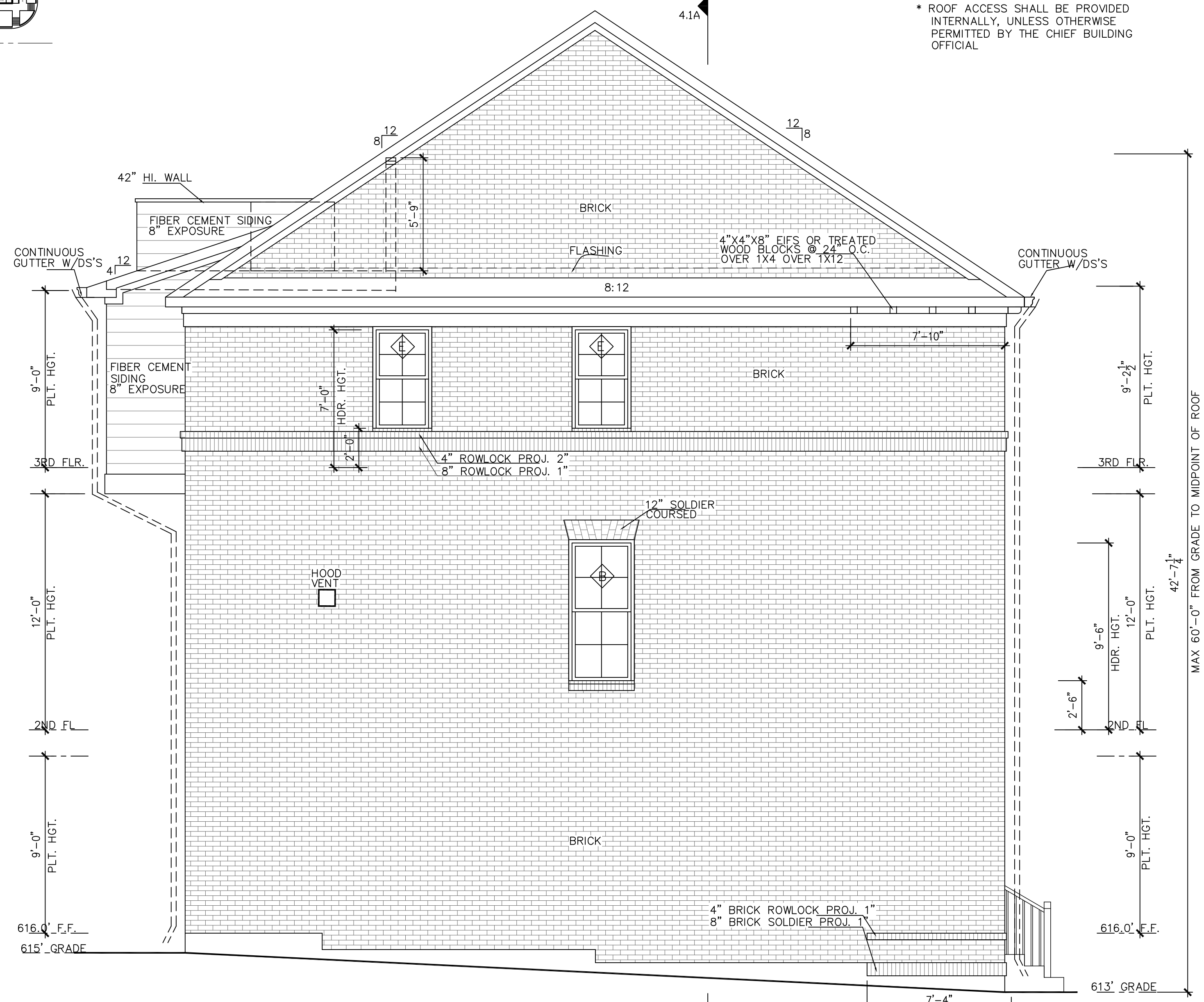
ADDITIONAL BUILDING MATERIALS

UNIT 1

- * COMPOSITION SHINGLES TYPICAL ROOF
- * METAL CLAD WOOD WINDOWS
- * 4X4X8 WOOD OF EIFS BLOCKS

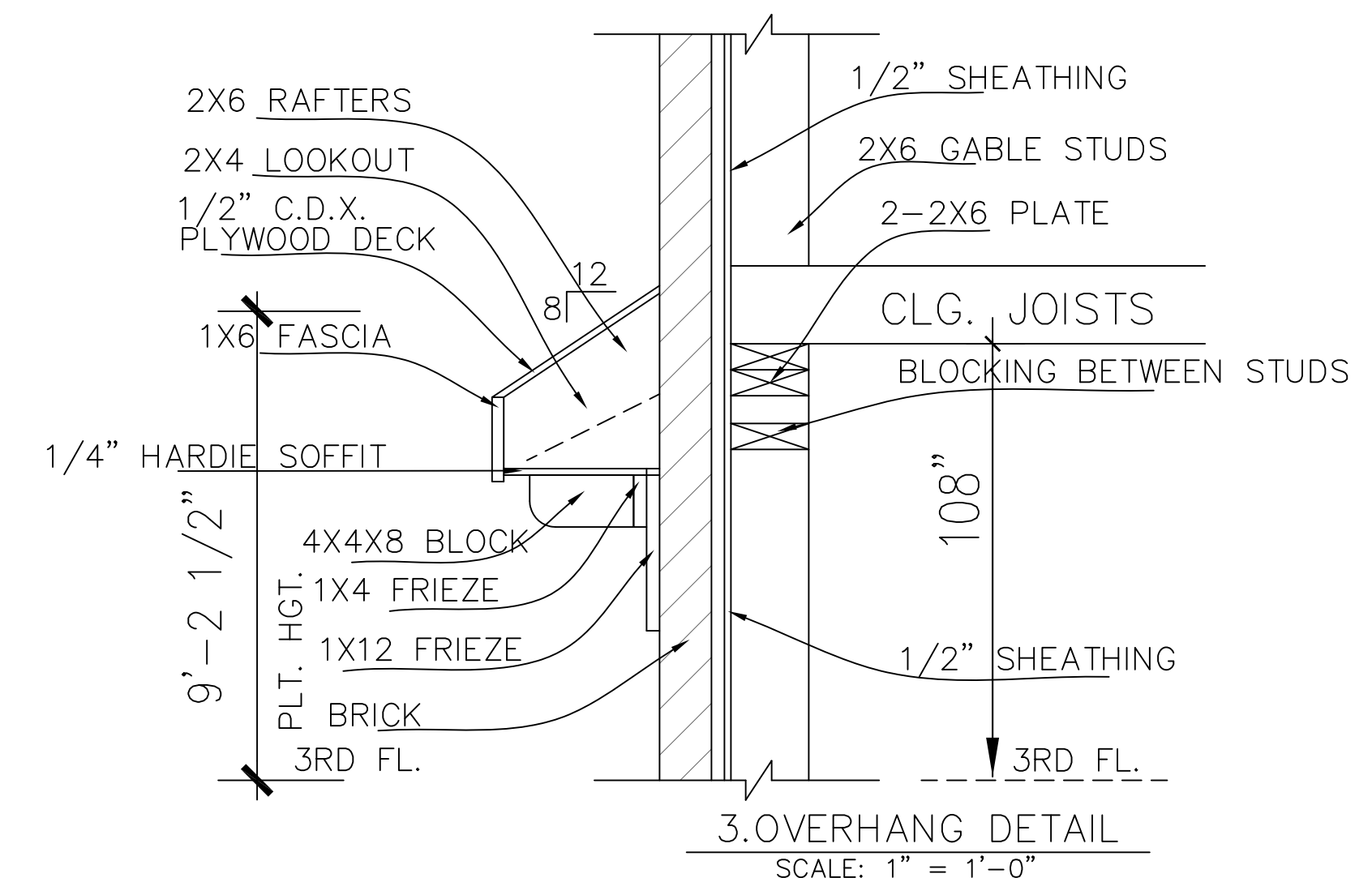
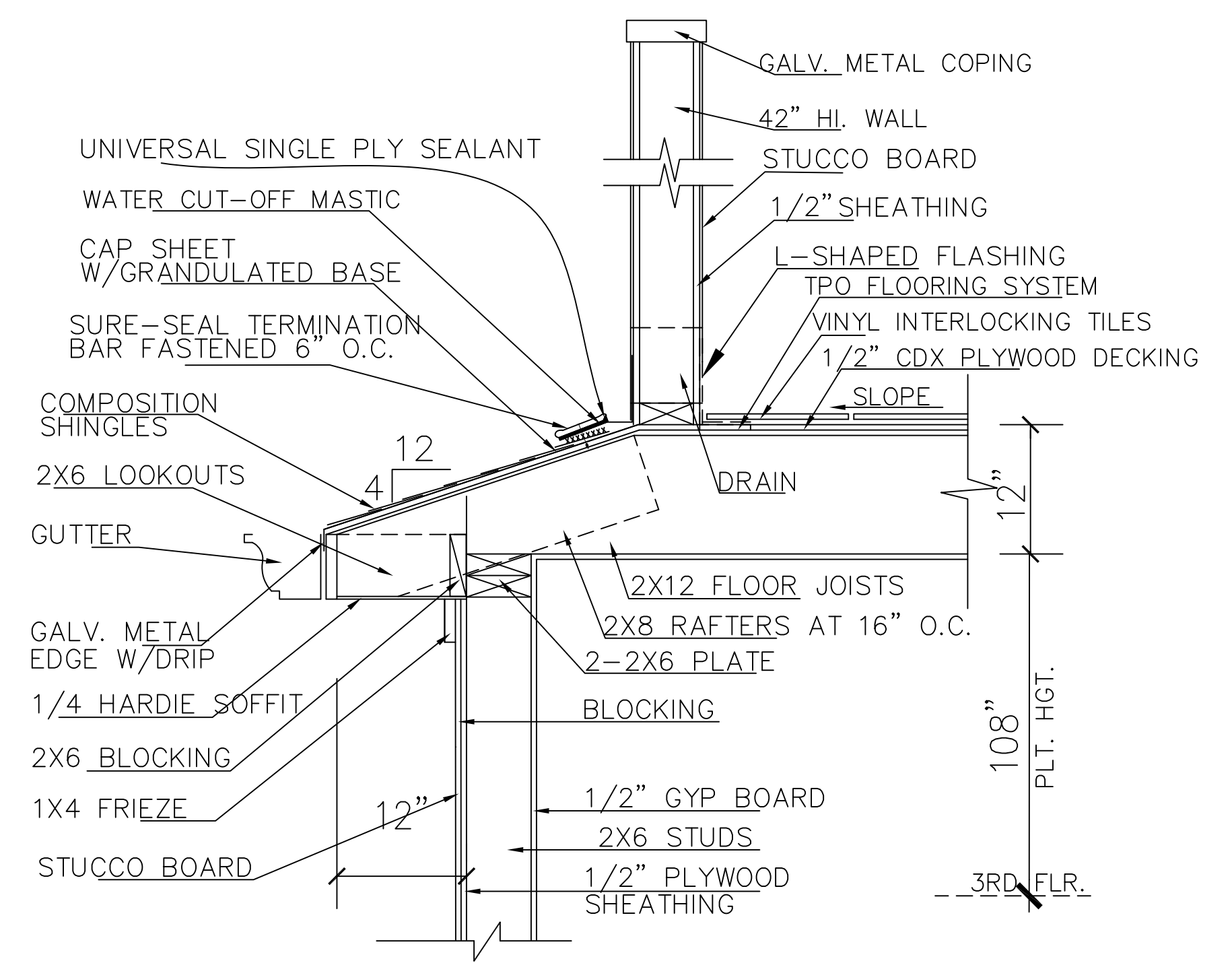
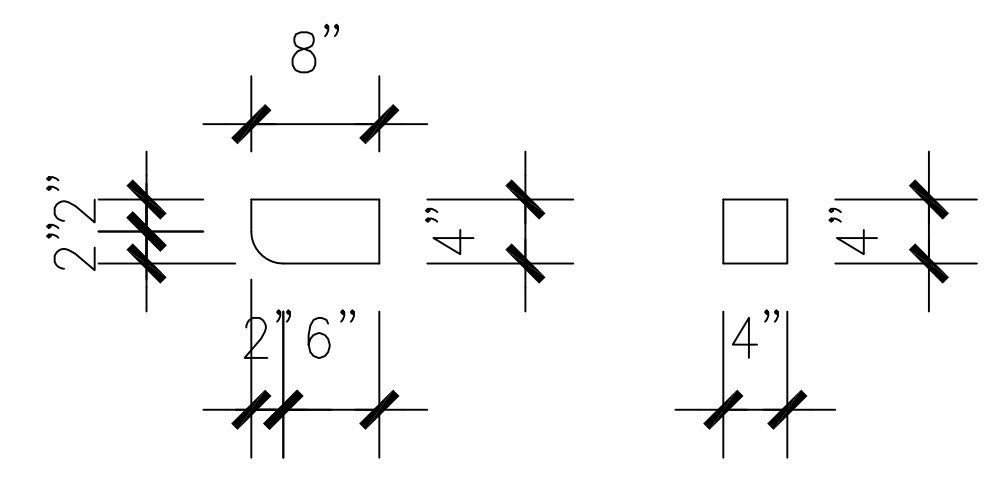
FACADE PLAN NOTES

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UNIT 1 LOT 33
4127 Runyon Road

north/left elevation
SCALE: 1/4" = 1'-0"



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PHONE: 713-961-3877

ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK A - BUILDING 7

NORTH / LEFT ELEVATION

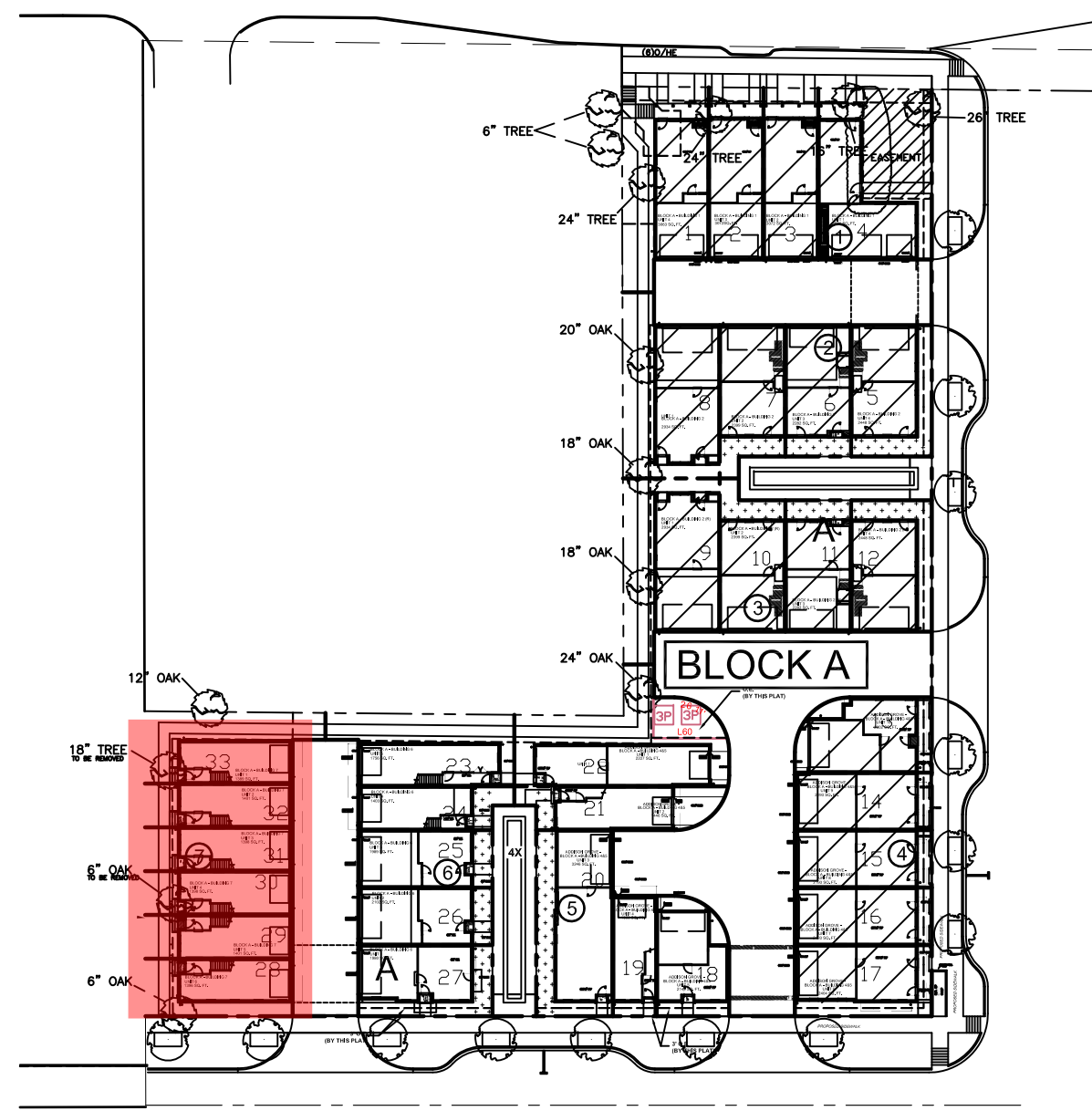
PLAN NO.	1389
UNIT 1	1401.4
UNIT 2	1398.3
UNIT 3	1398.4
UNIT 4	1401.5
UNIT 5	1396
UNIT 6	

SHEET NO.

A-3.4

Drawn By/Checked By: C.L./F.M.
Original Date Issued: 11/07/2019
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Last Updated: 03/02/2021

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UNIT 1 square footage

FIRST FLOOR	53
SECOND FLOOR	643
THIRD FLOOR	673
TOTAL LIVING AREA	1389
GARAGE	599
PORCH	9
AC DECK	103
TOTAL SLAB AREA	643

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDER'S DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z763-2003 ACTUAL SQUARE FOOTAGE MAY VARY

UNIT 2&5 square footage

FIRST FLOOR	53
SECOND FLOOR	643
THIRD FLOOR	681
TOTAL LIVING AREA	1401
GARAGE	632
PORCH	9
AC DECK	103
TOTAL SLAB AREA	643

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDER'S DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z763-2003 ACTUAL SQUARE FOOTAGE MAY VARY

UNIT 3&4 square footage

FIRST FLOOR	53
SECOND FLOOR	647
THIRD FLOOR	678
TOTAL LIVING AREA	1398
GARAGE	632
PORCH	9
AC DECK	103
TOTAL SLAB AREA	647

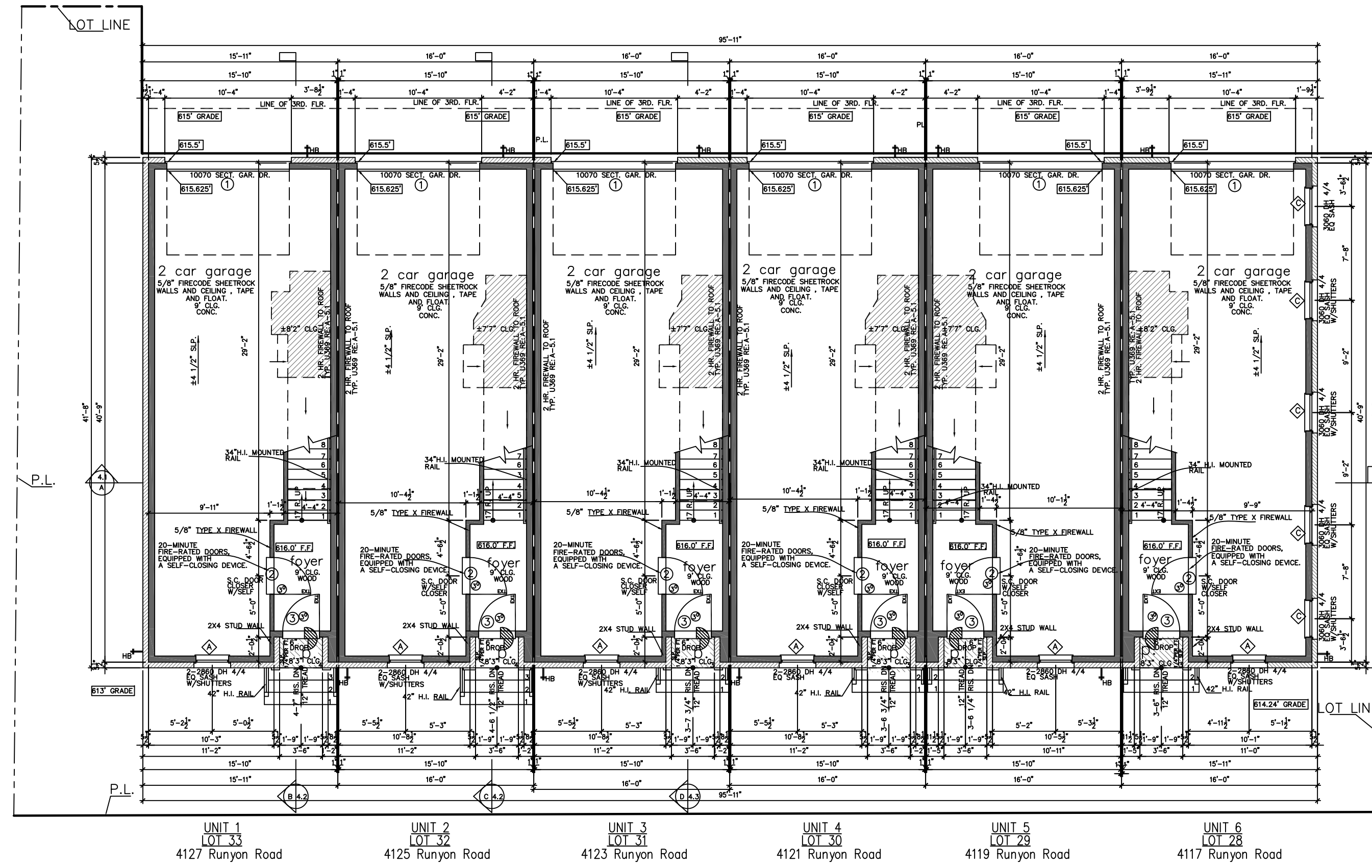
THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDER'S DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z763-2003 ACTUAL SQUARE FOOTAGE MAY VARY

UNIT 6 square footage

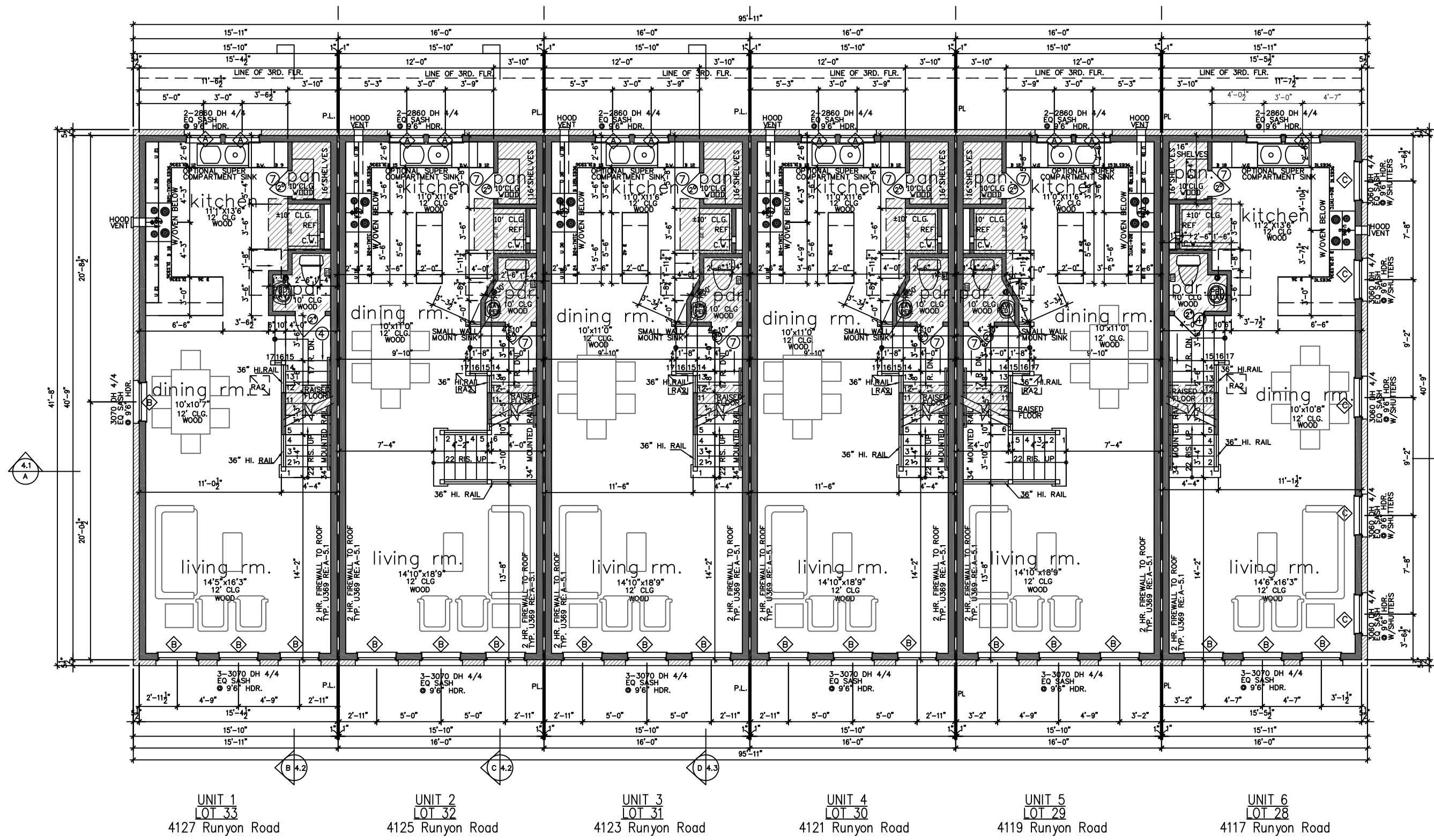
FIRST FLOOR	53
SECOND FLOOR	647
THIRD FLOOR	674
TOTAL LIVING AREA	1396
GARAGE	599
PORCH	9
AC DECK	103
TOTAL SLAB AREA	647

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDER'S DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z763-2003 ACTUAL SQUARE FOOTAGE MAY VARY

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	1389	2
UNIT 2	1401	2
UNIT 3	1398	2
UNIT 4	1398	2
UNIT 5	1401	2
UNIT 6	1396	2



First Floor Plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED INS. STRUCTURAL PLANS
NOTE: AUTOMATIC GARAGE DOOR OPENERS TO BE Labeled IN ACCORDANCE WITH UL 325 AS REQUIRED IN THE IRC SECTION R310.4
NOTE: TRASH CANS WILL BE STORED INSIDE ATTACHED GARAGE



Second Floor Plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED INS. STRUCTURAL PLANS

ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK A - BUILDING 7

FLOOR PLAN

PLAN NO.

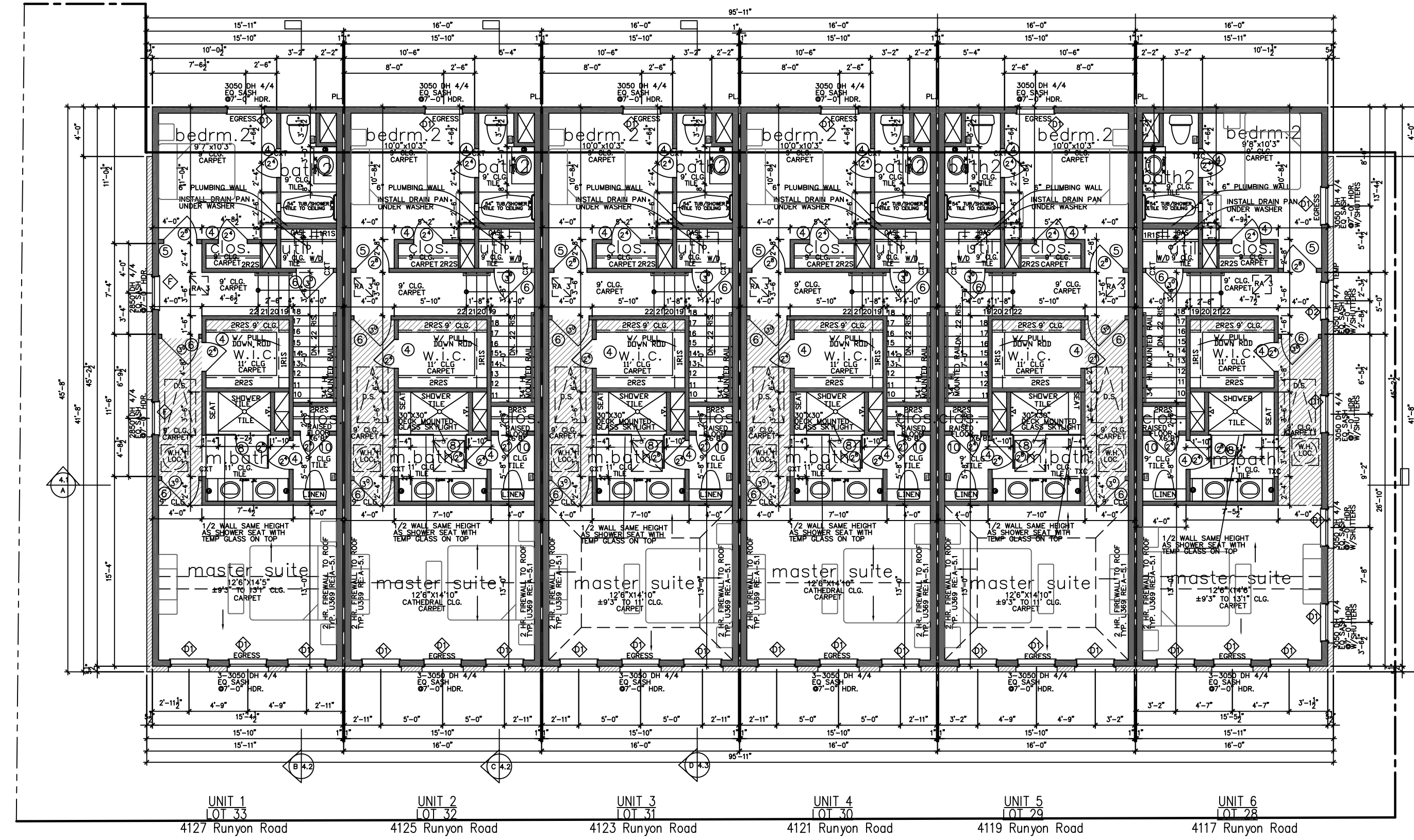
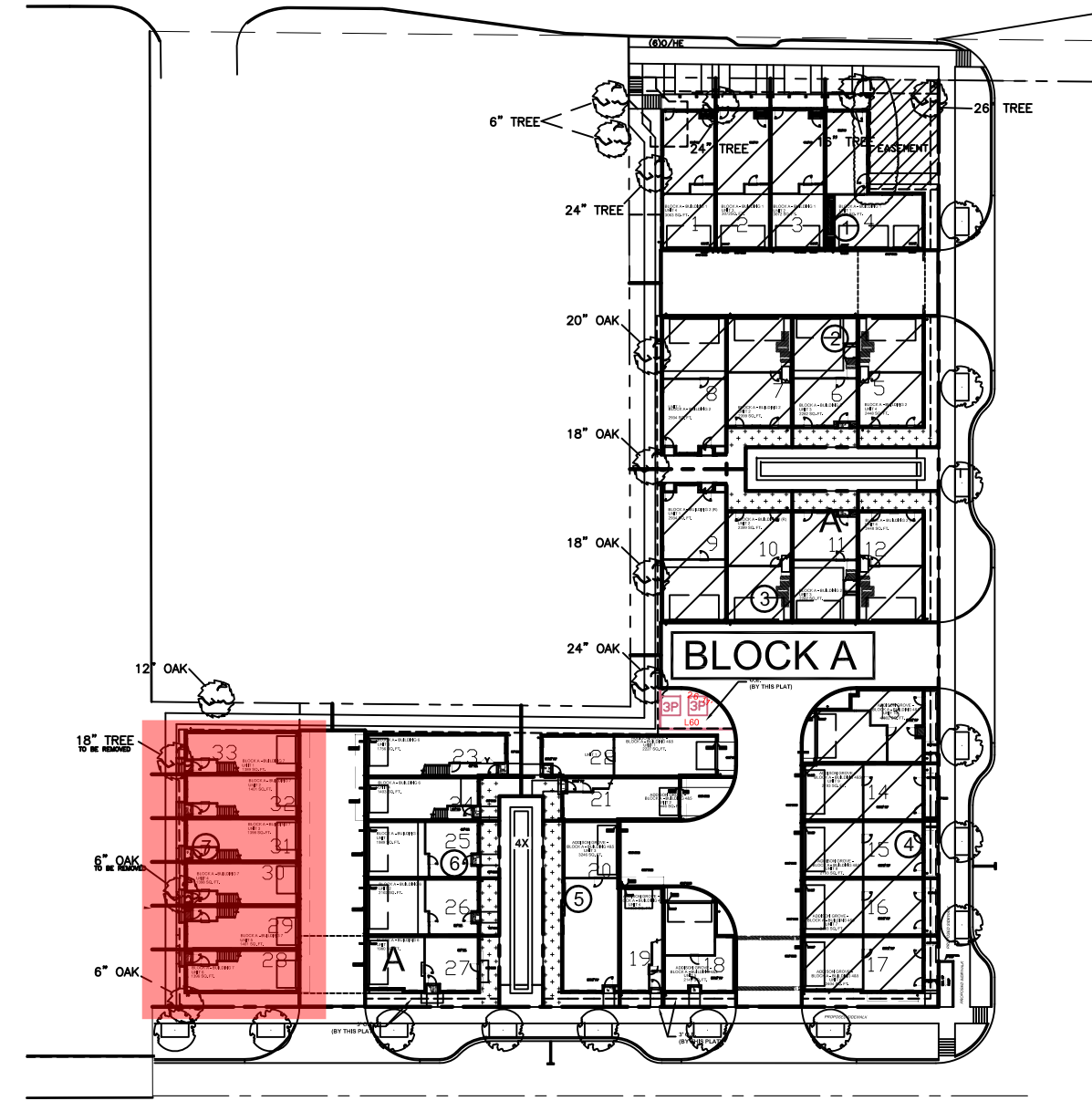
UNIT 1	1389
UNIT 2	1401
UNIT 3	1398
UNIT 4	1398
UNIT 5	1401
UNIT 6	1396

A-2.1

Drawn By/Checked By: C.L./F.M.
Original Date Issued: 11/07/2019
Scale: 1/8" = 1'-0"
Last Updated: 03/02/2021

1520 OLIVER STREET, HOUSTON, TX 77007
(713)880-4811 TEL (713)426-4410 FAX

Town Project #: 1821-Z



Third Floor Plan
 SCALE: 1/8" = 1'-0"
 NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED RE: STRUCTURAL PLANS

ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 7

FLOOR PLAN

Drawn By/Checked By: C.L./F.M.
 Original Date Issued: 11/07/2019
 Scale: 1/8" = 1'-0"
 Last Updated: 03/02/2021

URBAN INTOWN HOMES
 1520 OLIVER STREET, HOUSTON, TX 77007
 (713) 880-4811 TEL (713) 426-4410 FAX

PLAN NO.	SHEET NO.
UNIT 1 - 1389	A-2.2
UNIT 2 - 1403	
UNIT 3 - 1398	
UNIT 4 - 1398	
UNIT 5 - 1401	
UNIT 6 - 1396	

URBAN INTOWN HOMES
 1520 OLIVER, HOUSTON, TX 77007
 PHONE: 713-961-3877